

DRAWING SCHEDULE

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- 03 SITE PLAN
- 04 SEDIMENT CONTROL PLAN
- 05 STREETScape
- 06 SUN STUDY
- 07 SITE ANALYSIS PLAN
- 08 DEMOLITION PLAN
- 09 CUT AND FILL PLAN
- 10 BASEMENT PLAN
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- 12 FIRST FLOOR PLAN
- 13 ROOF PLAN
- 14 ELEVATIONS
- 15 ELEVATIONS
- 16 SECTIONS
- 17 DRIVEWAY CROSS SECTIONS
- 18 WINDOW & DOOR SCHEDULE
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84 **BRYANT ST**
PADSTOW

PROPOSED WAREHOUSE



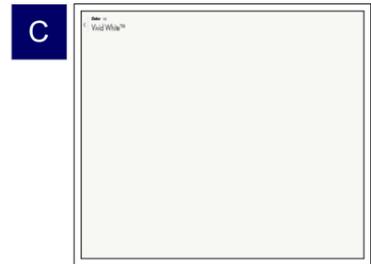
EXTERNAL MATERIAL SCHEDULE



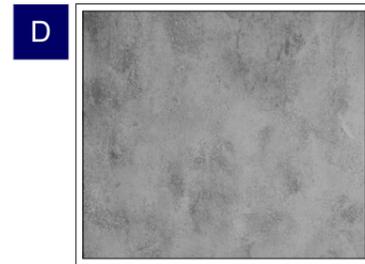
A
PGH BRICKS - DARK & STORMY THUNDER



B
COLORBOND ROOF - MONUMENT



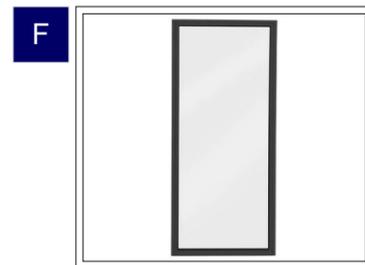
C
DULUX VIVID WHITE



D
CONCRETE FINISH OR SIMILAR



E
BLACK ALUMINIUM DOUBLE FRONT DOOR



F
BLACK WINDOW FRAMING



G
BLACK SEAMLESS GARAGE DOOR



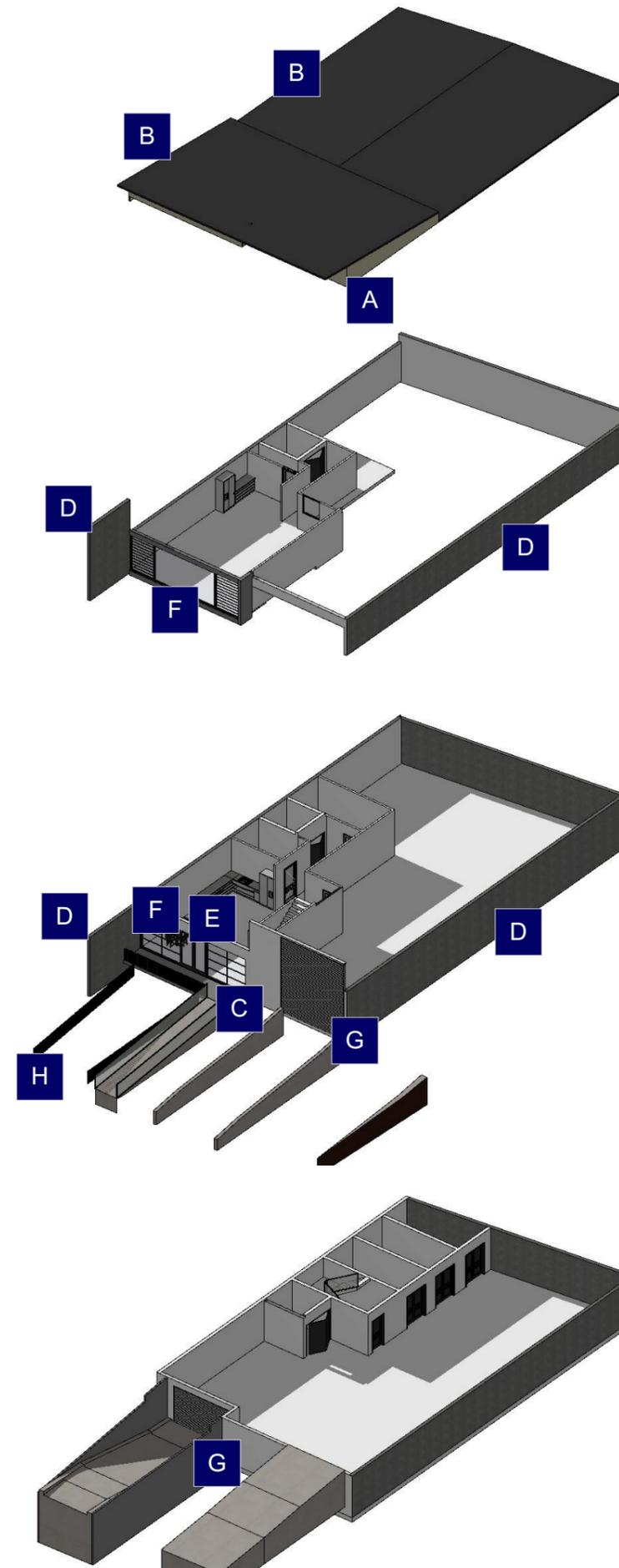
H
BLACK ALUMINIUM BLADE BALUSTRADE

AXONOMETRIC RENDERS

ROOF

FIRST FLOOR

GROUND FLOOR



LEGEND

- S SINK
- ⊕ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

- GENERAL NOTES**
- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.
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REVISION B - CONCEPT	M.M	16/12/24
REVISION C - CONCEPT	M.M	17/01/25
REVISION D - CONCEPT	M.M	08/02/25
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REVISION F - BCA CHANGES	M.M	04/03/25
REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25

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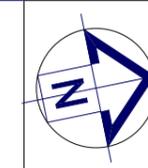
Client
PETER DELLIMANOLIS

Project Name
WAREHOUSE

At
84 BRYANT ST
PADSTOW

Drawing Title:
- Axon Renders/Materials
Generic Axonometry (1), Generic Axonometry (2),
Generic Axonometry (3)

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	
Project No:	Drawing No.:	
#	02	
Date:	26/03/2025	



LEGEND	
S	SINK
+	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
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L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
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ASSOCIATION OF AUSTRALIA

Client
PETER DELLIMANOLIS

Project Name
WAREHOUSE

At
84 BRYANT ST
PADSTOW

Drawing Title: - Site Plan Site Plan	
BDA ACCREDITATION NO: 6455	Scale: As Noted A3
Project No: 6455	Designed By: M.N
Date: 26/03/2025	Drawing No.: 03

TOTAL FSR CALCULATION
MAX GROUND FLOOR AREA ALLOWED: 381.57 m²
GROUND FLOOR AREA PROPOSED: 343.94 m²
PARKING SPOTS REQUIRED: 6

TOTAL FSR CALCULATION
MAX FSR ALLOWED: 545.10m²
TOTAL FSR PROPOSED: 424.48m²

DWELLING AREAS

SITE DETAILS
LOT NUMBER: 20
DP NUMBER: 732054
SITE AREA (DP): 545.10m²
SITE AREA (CALC): 545.10m²

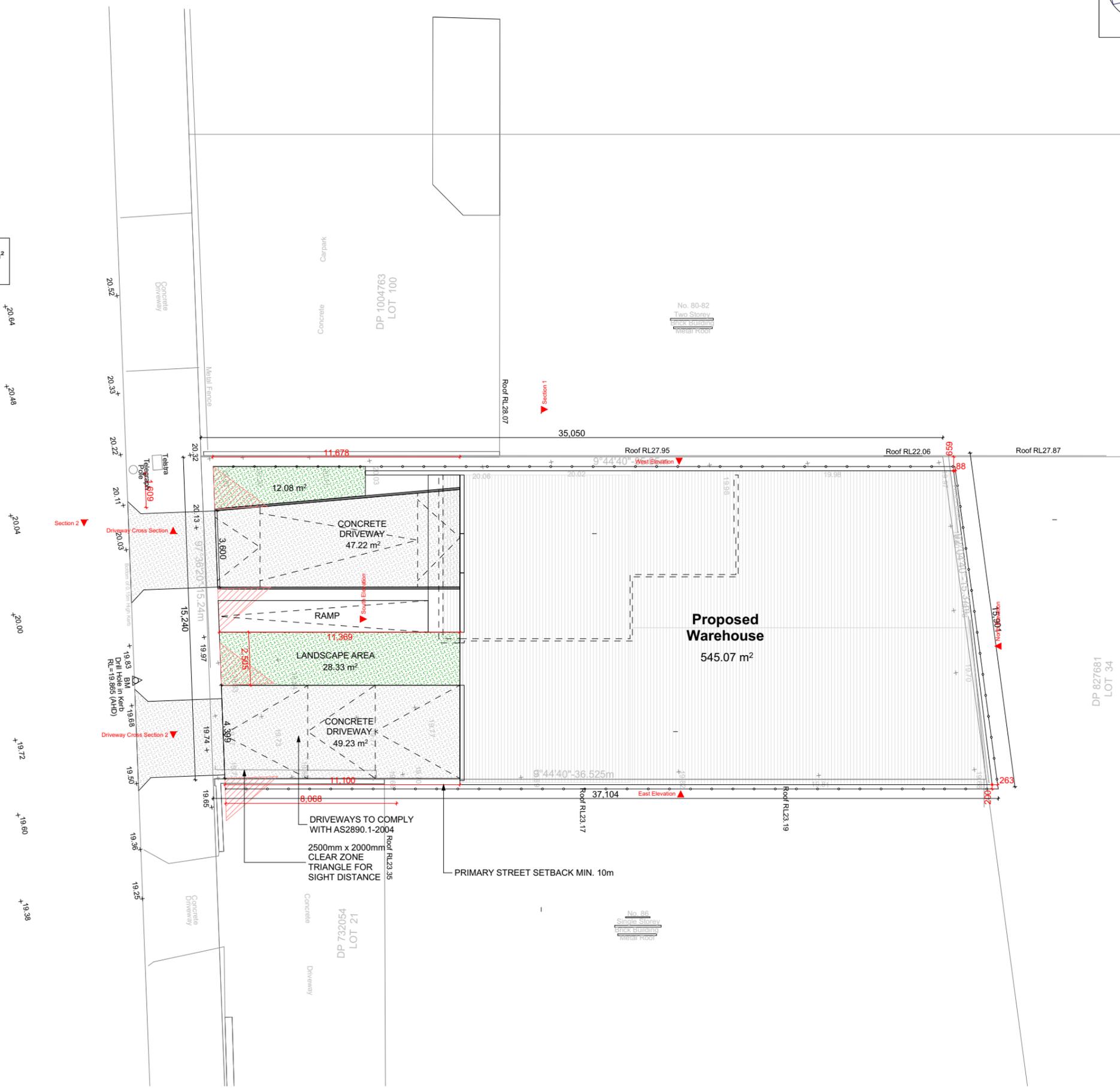
WAREHOUSE

TOTAL SUBDIVIDED AREA: 545.10m²
GROUND FLOOR AREA: 343.94 m²
FIRST FLOOR AREA: 80.54 m²
STAIRCASE VOID: 13.68 m²
BASEMENT: 343.94 m²
PORCH: 11.14 m²
DRIVEWAY: 96.45 m²
TOTAL ROOF AREA: 383.87m²

BRYANT STREET

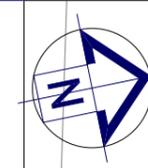
LEGEND:

Concrete Area	CONCRETE AREA
Landscape Area	LANDSCAPE AREA
Retaining Walls	RETAINING WALLS



Site Plan

1:200 #



LEGEND

- S SINK
- ⊕ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
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- T.O.R TOP OF ROOF
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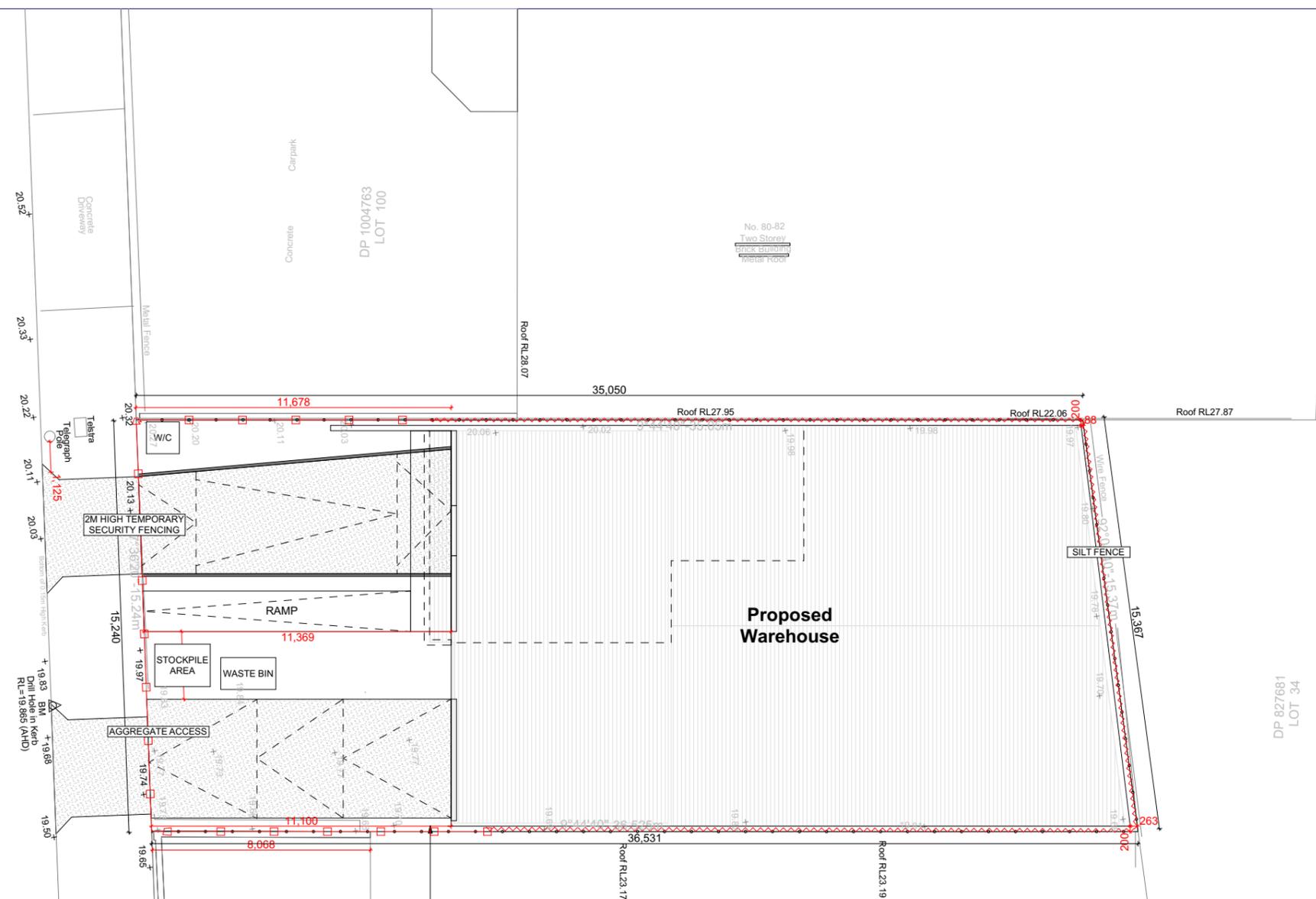
Drawing Title:
- Sediment Control Plan
Site Plan

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

Project No:	Drawing No.:
	04

Date: 26/03/2025

BRYANT STREET



- LEGEND:**
- SECURITY DENCE
 - SILT FENCE
 - RETAINING WALLS

STANDARD LINE TYPES AND SYMBOLS:

	PROPOSED KERB & GUTTER
	EXISTING KERB & GUTTER
	PROPOSED BELOW GROUND PIPELINE
	PROPOSED SUSPENDED PIPELINE
	EXISTING PIPELINE
	SUBSOIL DRAINAGE LINE
	PROPOSED KERB INLET PIT
	EXISTING KERB INLET PIT
	PROPOSED JUNCTION OR INLET PIT
	EXISTING JUNCTION OR INLET PIT
	DESIGN CENTRELINE
	EXISTING EDGE OF BITUMEN
	TELECOMMUNICATION CONDUIT
	GAS MAIN
	WATER MAIN
	SEWER MAIN
	UNDERGROUND ELECTRICITY CABLES
	PERMANENT MARK & S.S.M.
	BENCHMARK, SURVEY STATION

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE SUPERINTENDENT'S SATISFACTION.

A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE FRONT OF THE PROPERTY CONSISTING OF 50:75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAID OVER NEEDLE-PUNCHED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT NO SPOIL OR FILL ENCROACHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT KERB INLETS AND DRAINING RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.

SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STAR PICKETS ARE USED PLASTIC SAFETY CAPS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.

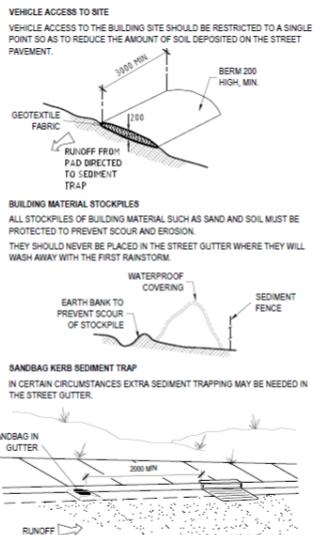
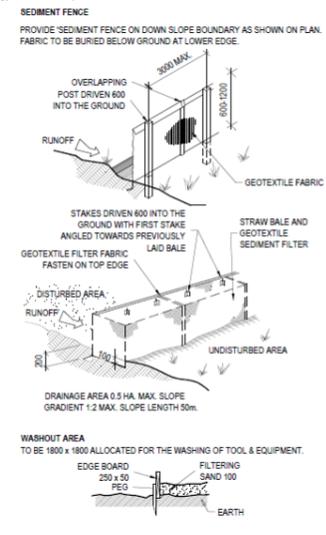
ALL TOPSOIL STRIPPED FROM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.

SOIL CONSERVATION NOTE:

PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE', 'SEDIMENT TRAP' AND WASH-OUT AREA TO ENSURE THE CAPTURE OF WATER BOURNE MATERIAL, GENERATED FROM THE SITE.

MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP' AFTER EACH STORM.

SEDIMENT TRAP
1000 x 1000 x 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.



GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE IN MILLIMETRES & ALL LEVELS ARE IN METRES, (UNO) (UNLESS NOTED OTHERWISE).

NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWINGS.

ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.

DURING EXCAVATION WORK THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED.

ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE SPECIFICATION.

EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.

ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.

ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.

ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSSED AREAS AND ROAD PAVEMENTS, UNLESS DIRECTED OTHERWISE.

CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.

STORMWATER DRAINAGE

THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500.3 - 1990 'STORMWATER DRAINAGE' & AS/NZS 3500.3.2-1988 'STORMWATER DRAINAGE - ACCEPTABLE SOLUTIONS'.

ANY VARIATIONS TO THE NOMINATED LEVELS SHALL BE REFERRED TO ENGINEER IMMEDIATELY.

ANY VARIATIONS TO SPECIFIED PRODUCTS OR DETAILS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

DOWN PIPES SHALL BE A MINIMUM OF DN100 SW GRADE UPVC OR 100X100 COLORBOND/ZINCALUME STEEL, UNO.

BOX COLORBOND OR ZINCALUME STEEL. GUTTERS SHALL BE A MINIMUM OF 450 WIDE X 150 DEEP.

EAVES GUTTERS SHALL BE A MINIMUM OF 125 WIDE X 100 DEEP (OR EQUIVALENT AREA) COLORBOND OR ZINCALUME STEEL.

SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.

Site Plan

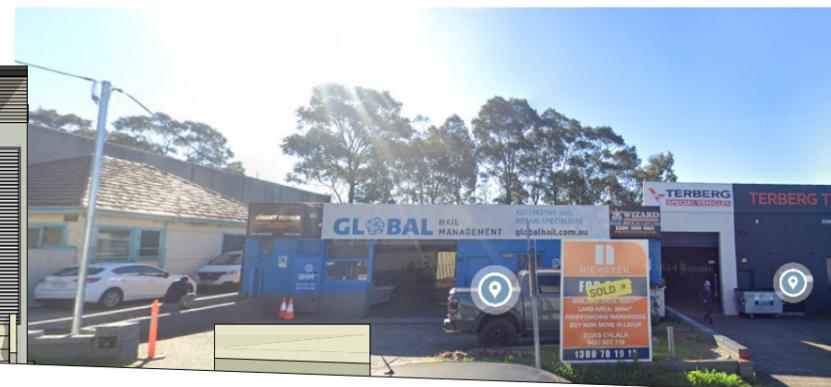
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BRYANT ST

80

84

86



LEGEND	
S	SINK
⊕	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
PETER DELLIMANOLIS

Project Name
WAREHOUSE

At
84 BRYANT ST
PADSTOW

Drawing Title:
Streetscape

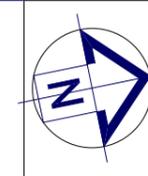
BDA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

Project No:	Drawing No.:
#	05

Date: 26/03/2025

Streetscape

1:200



LEGEND

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- (SA) SMOKE ALARM
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- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

GENERAL NOTES

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REVISION B - CONCEPT	M.M	16/12/24
REVISION C - CONCEPT	M.M	17/01/25
REVISION D - CONCEPT	M.M	08/02/25
REVISION E - CLIENT CHANGES	M.M	12/02/25
REVISION F - BCA CHANGES	M.M	04/03/25
REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25


CAMPBELL HILL
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 Email: campbellhillgroup@hotmail.com


bdaa
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

Client
 PETER DELLIMANOLIS

Project Name
 WAREHOUSE

At
 84 BRYANT ST
 PADSTOW

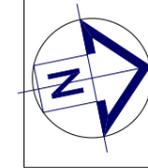
Drawing Title:
 - Sun Study
 June 21 12pm, June 21 4pm, June 21 8am

BDA ACCREDITATION NO: 6455
 Scale: As Noted A3
 Designed By: M.N

Project No: #
 Drawing No.: 06

Date: 26/03/2025





LEGEND	
S	SINK
+	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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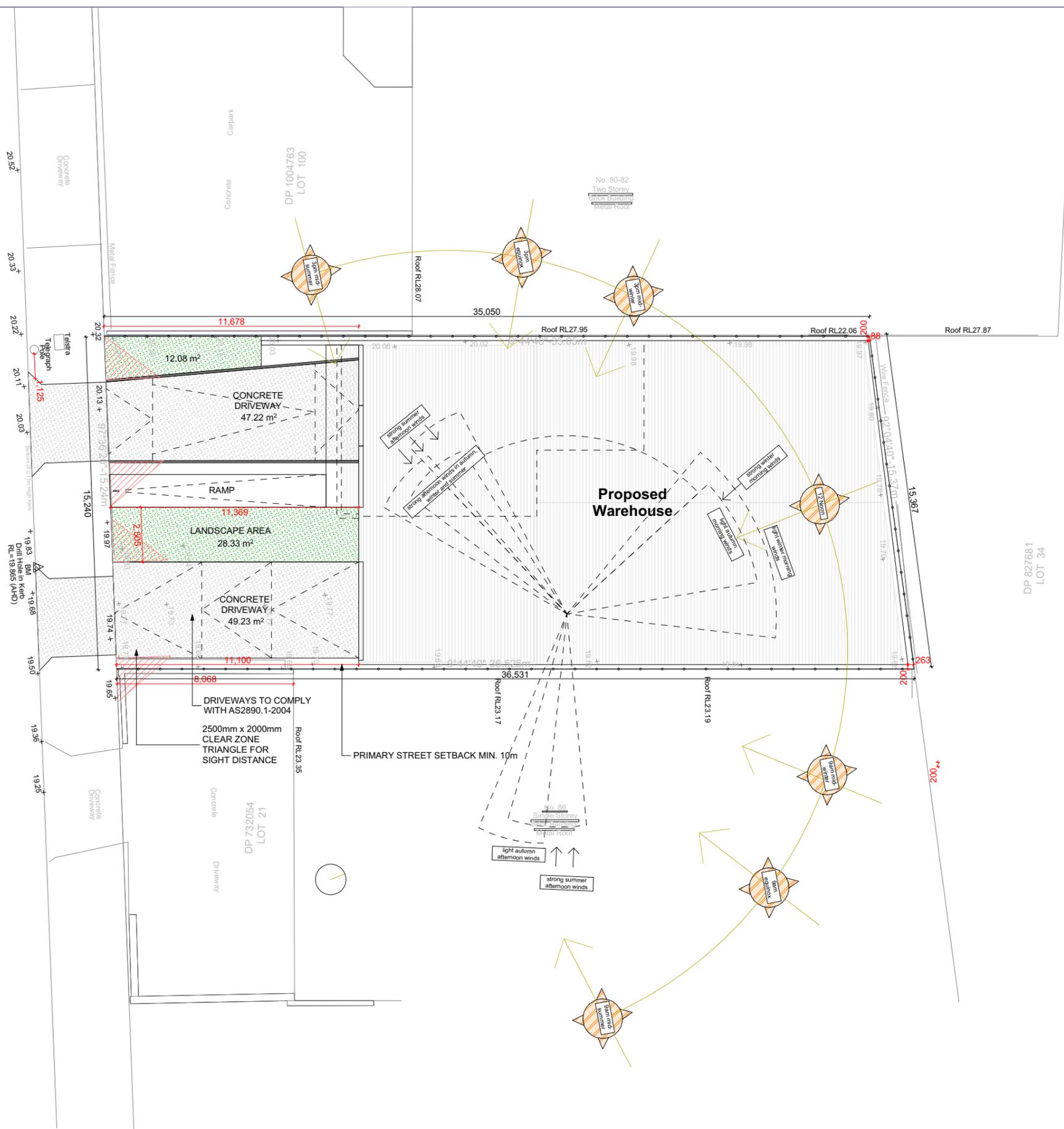
bdaa
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

Client
 PETER DELLIMANOLIS

Project Name
 WAREHOUSE

At
 84 BRYANT ST
 PADSTOW

Drawing Title: - Site Analysis Site Analysis Plan	
BDAA ACCREDITATION NO: 6455	Scale: As Noted A3
Project No: #	Designed By: M.N
Date:	Drawing No.: 07
	26/03/2025



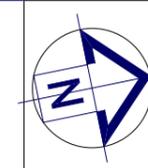
BRYANT STREET

LEGEND:

	CONCRETE AREA
	LANDSCAPE AREA
	RETAINING WALLS

Site Analysis Plan

1:200



LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
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Client
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Project Name
WAREHOUSE

At
84 BRYANT ST
PADSTOW

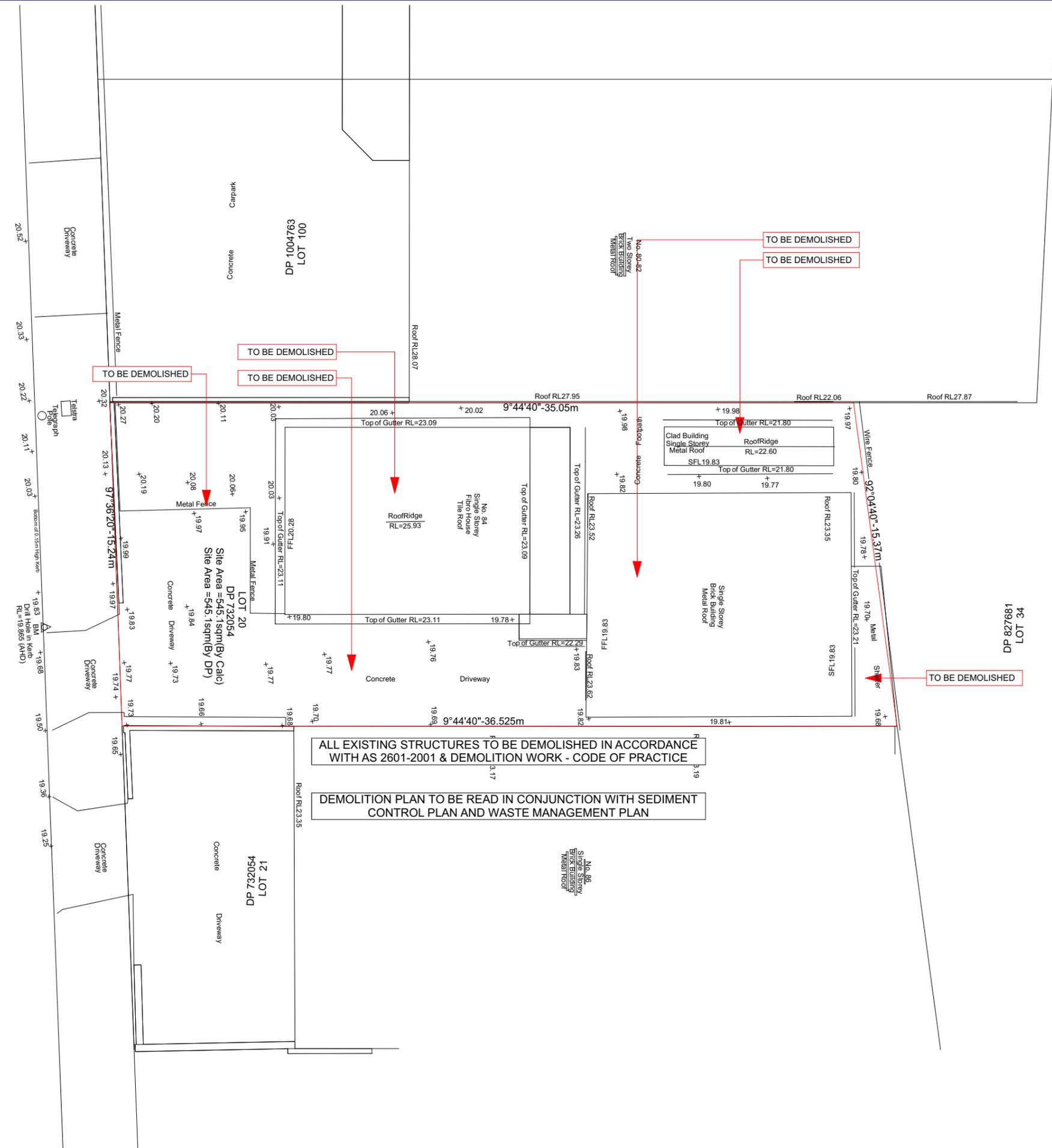
Drawing Title:
- Demolition Plan
Demolition Plan

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

Project No:	Drawing No.:
#	08

Date: 26/03/2025

BRYANT STREET



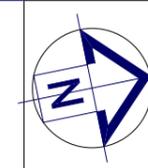
ALL EXISTING STRUCTURES TO BE DEMOLISHED IN ACCORDANCE WITH AS 2601-2001 & DEMOLITION WORK - CODE OF PRACTICE

DEMOLITION PLAN TO BE READ IN CONJUNCTION WITH SEDIMENT CONTROL PLAN AND WASTE MANAGEMENT PLAN

Demolition Plan

1:200

+20.64
+20.48
+20.33
+20.22
+20.11
+20.04
+20.03
+20.00
+19.72
+19.60
+19.38



LEGEND	
S	SINK
⊕	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
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T.O.R	TOP OF ROOF
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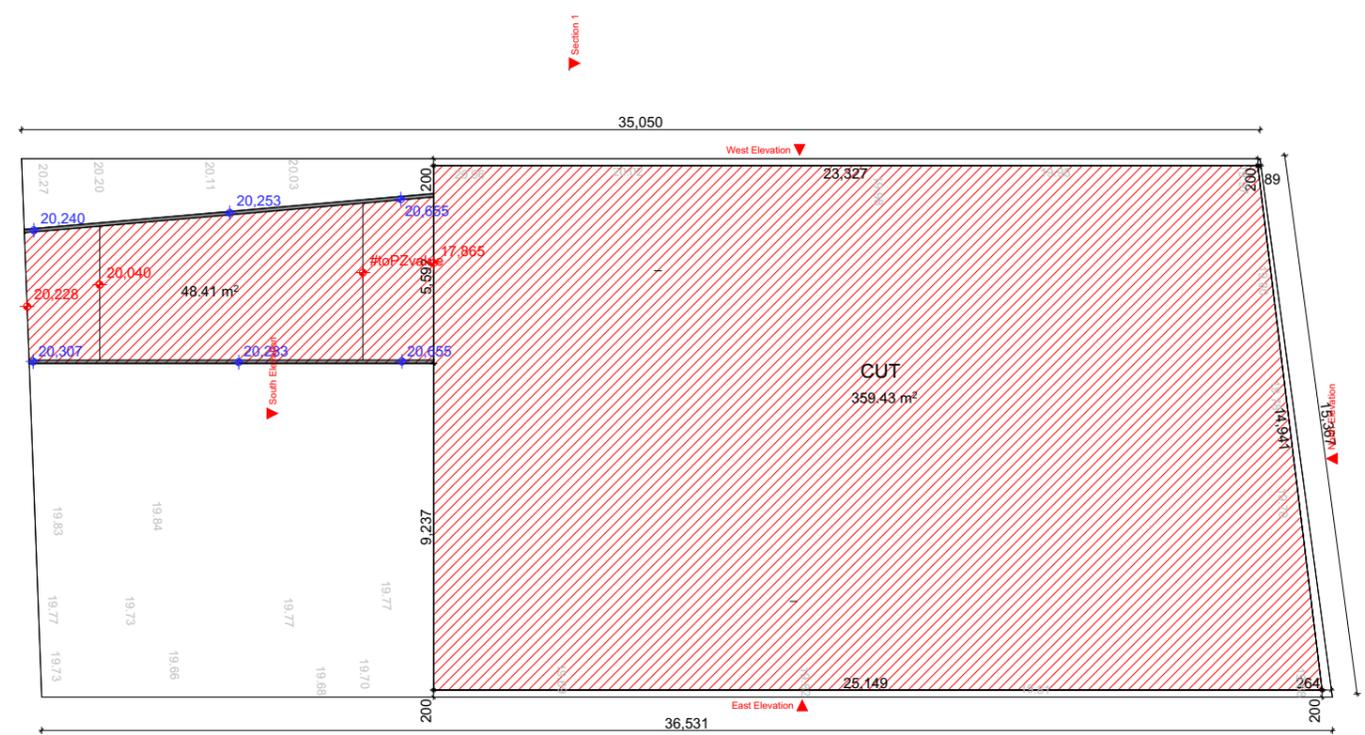
bdaa
 BUILDING DESIGNERS
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Client
 PETER DELLIMANOLIS

Project Name
 WAREHOUSE

At
 84 BRYANT ST
 PADSTOW

Drawing Title: - Cut/Fill Plan Cut/Fill Plan	
BDA ACCREDITATION NO: 6455	Scale: As Noted A3 Designed By: M.N
Project No: #	Drawing No.: 09
Date:	26/03/2025



LEGEND:

	CUT
	FILL
	RETAINING WALLS
	PROPOSED FINISH RL
	TOP OF WALL RL

Cut/Fill Plan

1:200



LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
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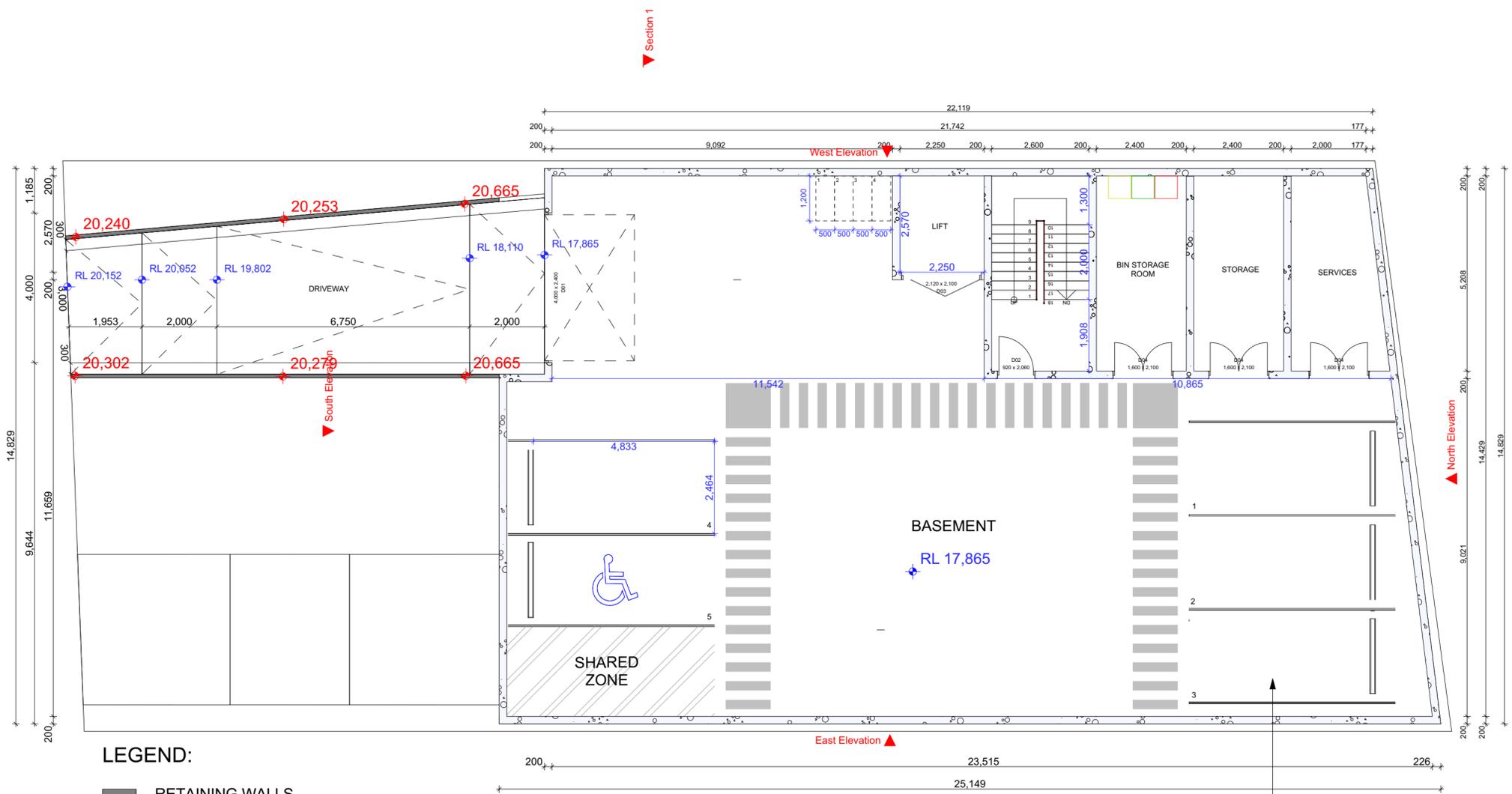
At
84 BRYANT ST
PADSTOW

Drawing Title:
- Basement Plan
Basement

BDAA ACCREDITATION NO:	Scale: As Noted	A2
6455	Designed By: M.N	

Project No:	Drawing No.:
	10

Date: 26/03/2025



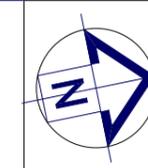
LEGEND:

- █ RETAINING WALLS
- +00,000 TOP OF WALL RL
- +00,000 PROPOSED FINISH RL

ALL CONSTRUCTION TO COMPLY WITH
AS1428.1-2009
DESIGN FOR ACCESS & MOBILITY & THE
BUILDING CODE OF ACCESSIBLE
PARKING SPACE

Basement

1:100 #



LEGEND

- S SINK
- ⊕ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
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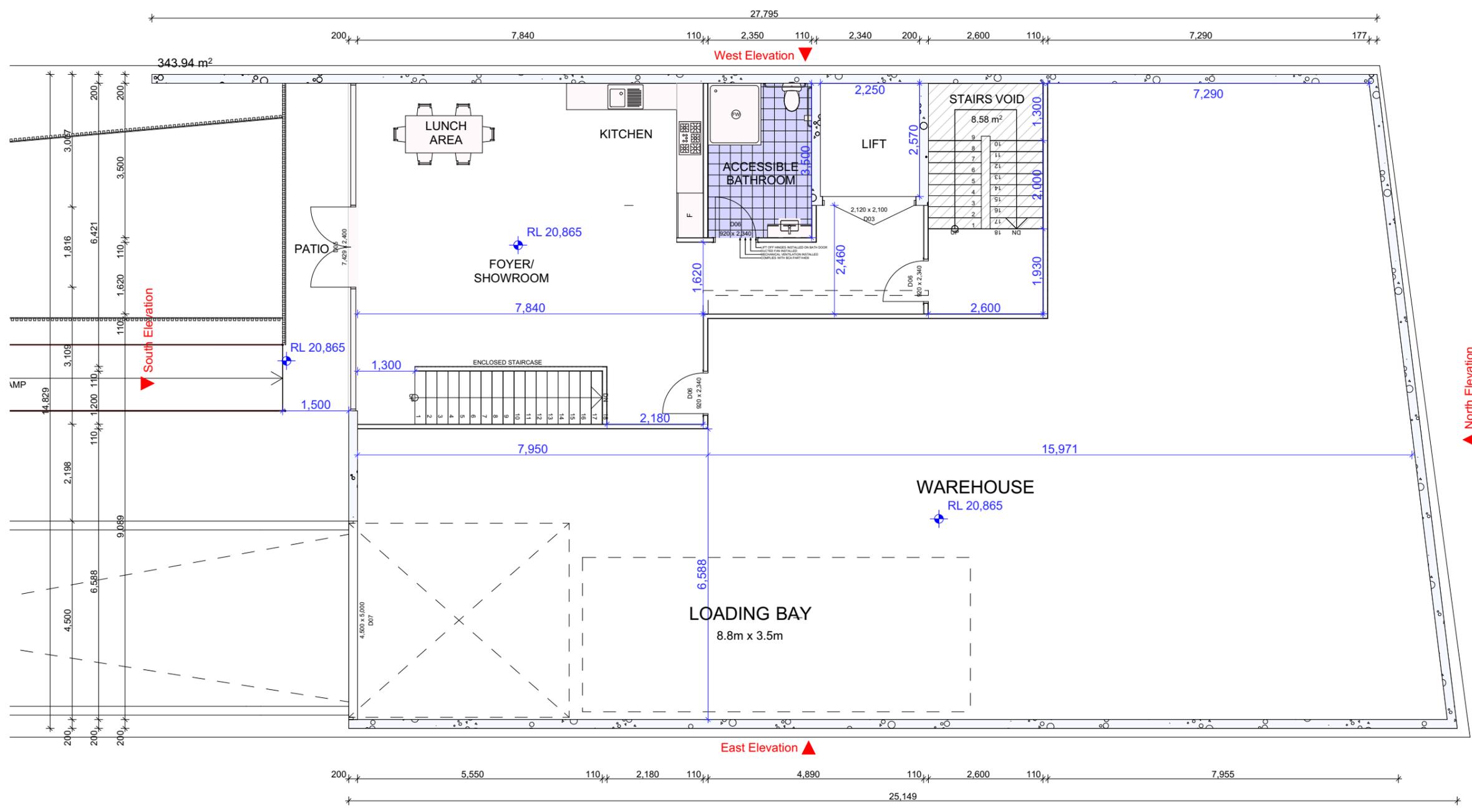
At
84 BRYANT ST
PADSTOW

Drawing Title:
- Ground Floor Plan
Ground Floor

BDAA ACCREDITATION NO: 6455
Scale: As Noted
Designed By: M.N

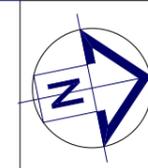
Project No: #
Drawing No.: 11

Date: 26/03/2025



Ground Floor

1:100



LEGEND

- S SINK
- ⊕ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
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- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

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REVISION B - CONCEPT	M.M	16/12/24
REVISION C - CONCEPT	M.M	17/01/25
REVISION D - CONCEPT	M.M	08/02/25
REVISION E - CLIENT CHANGES	M.M	12/02/25
REVISION F - BCA CHANGES	M.M	04/03/25
REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25

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Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com

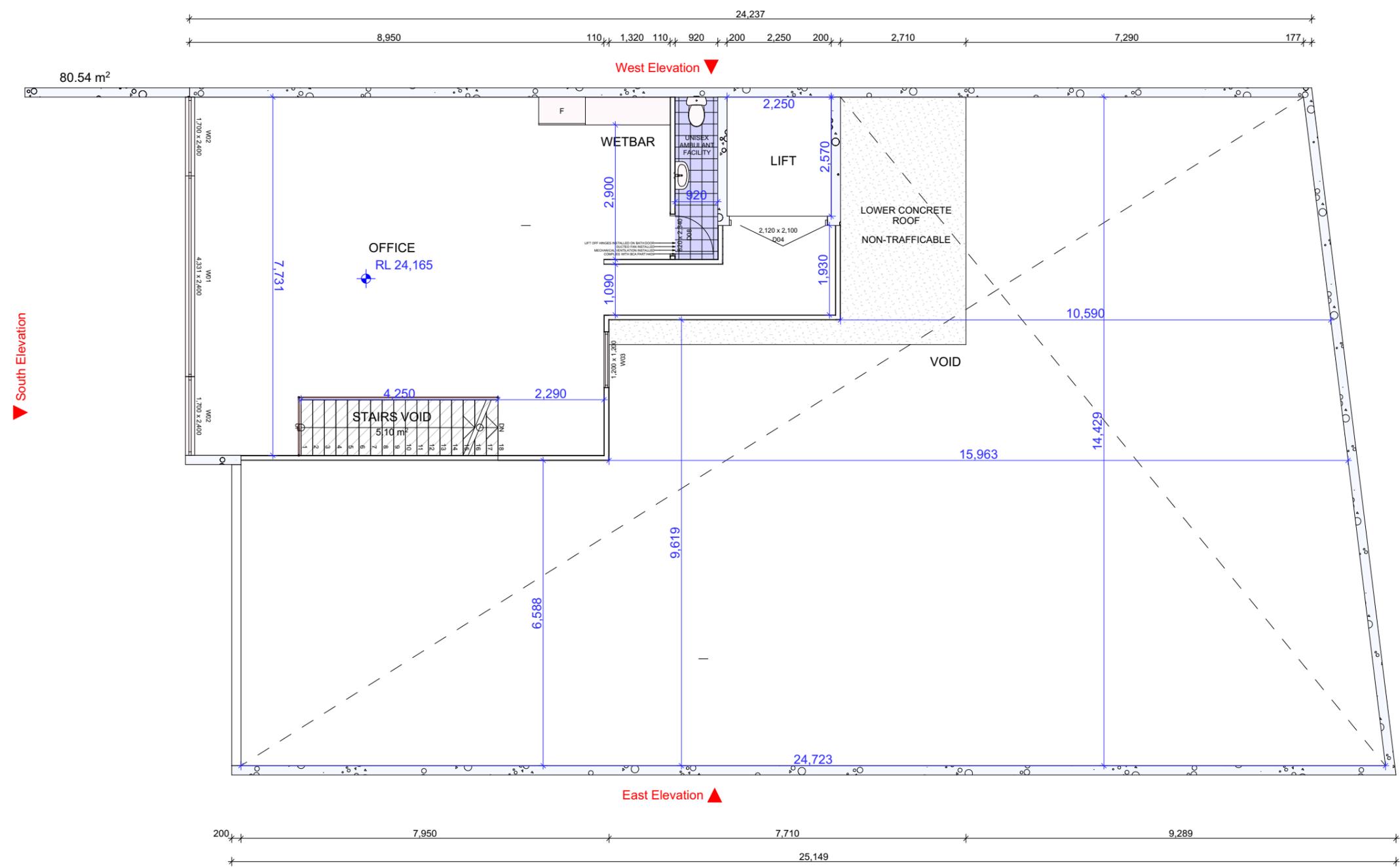
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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
PETER DELLIMANOLIS

Project Name
WAREHOUSE

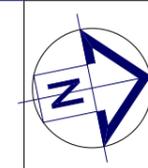
At
84 BRYANT ST
PADSTOW

Drawing Title: - First Floor Plan First Floor	
BDAA ACCREDITATION NO: 6455	Scale: As Noted A3
Project No: 8433 375 386	Designed By: M.N
Date: 26/03/2025	Drawing No.: 12



First Floor

1:100 #



LEGEND	
S	SINK
⊕	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

GENERAL NOTES

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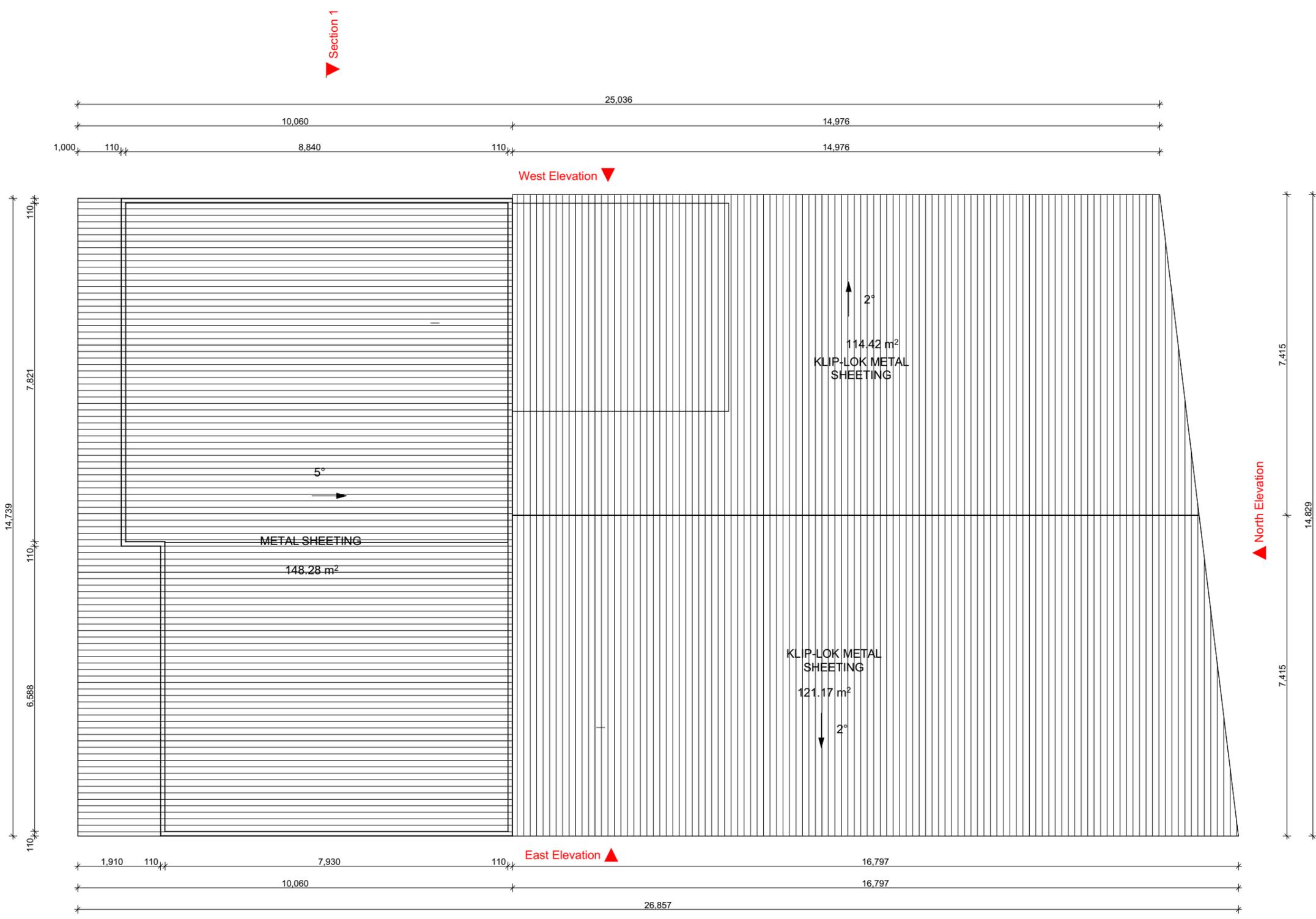
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 ASSOCIATION OF AUSTRALIA

Client
 PETER DELLIMANOLIS

Project Name
 WAREHOUSE

At
 84 BRYANT ST
 PADSTOW

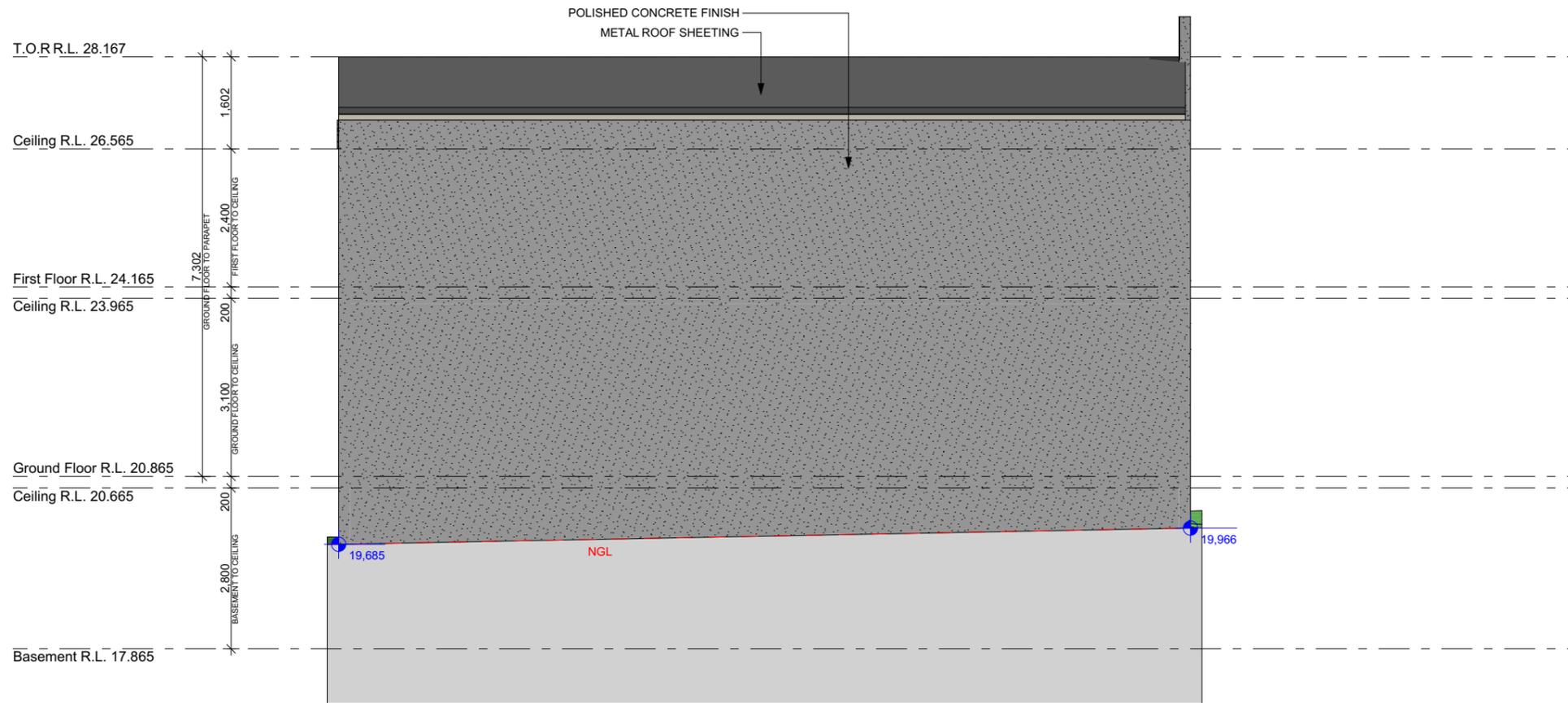
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BDA ACCREDITATION NO: 6455	Scale: As Noted A3
Project No: #	Designed By: M.N
	Drawing No.: 13
Date:	26/03/2025



Roof Plan

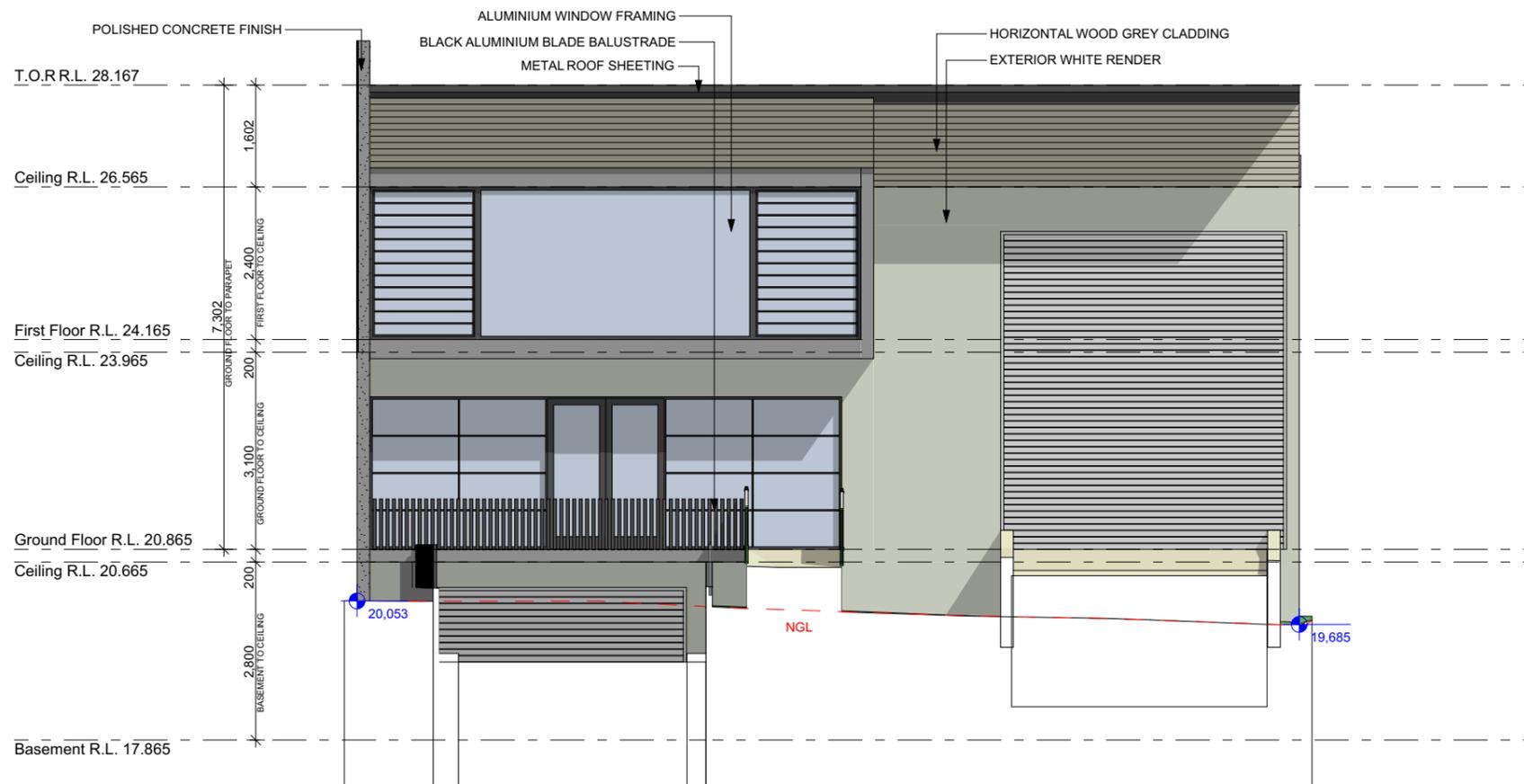
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Date:	26/03/2025
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North Elevation

1:100



South Elevation

1:100

LEGEND

- S SINK
- ⊕ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

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Client
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Project Name
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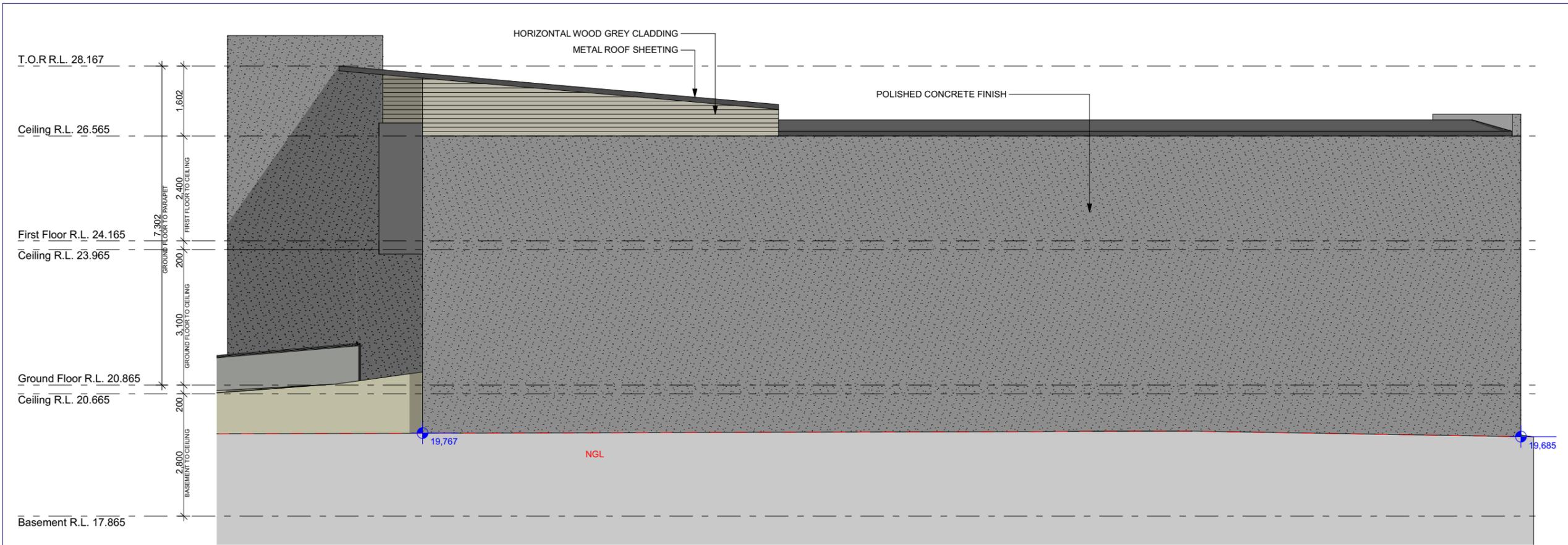
At
84 BRYANT ST
PADSTOW

Drawing Title:
- Elevations
North Elevation, South Elevation

BDAA ACCREDITATION NO: 6455	Scale: As Noted A3
Project No: #	Designed By: M.N

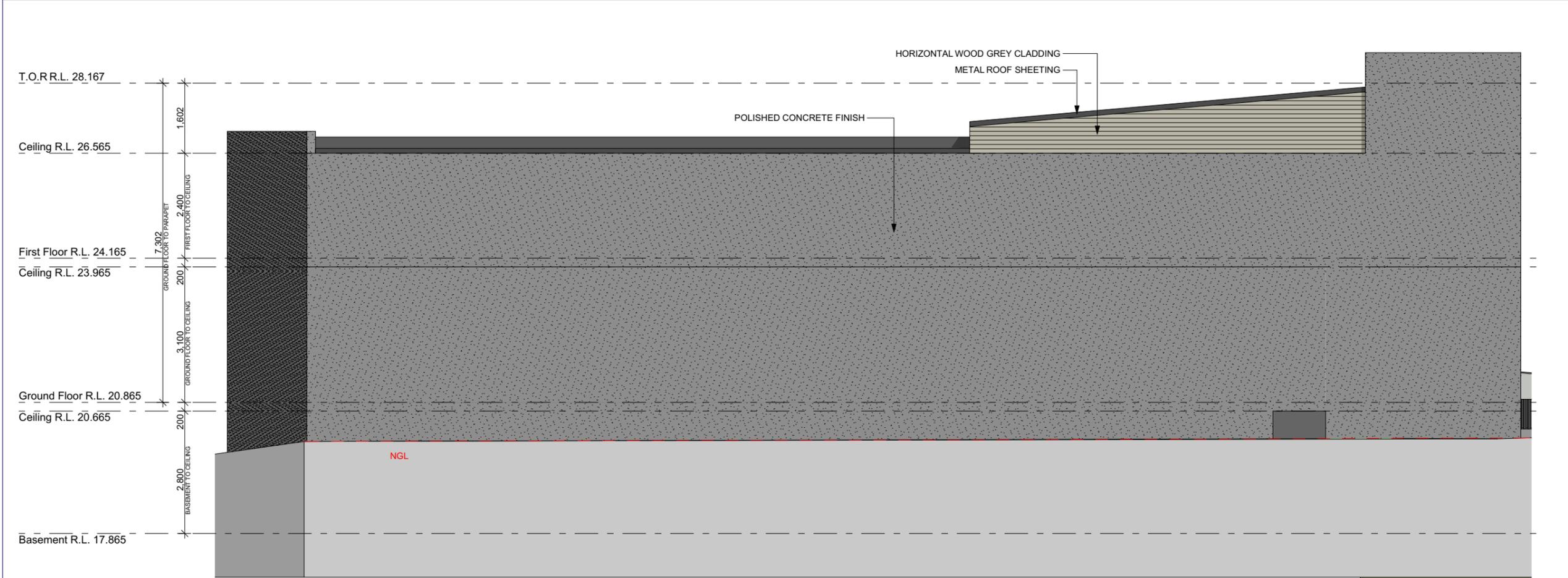
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Date: 26/03/2025



East Elevation

1:100



West Elevation

1:100

LEGEND	
S	SINK
⊕	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
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Project Name
WAREHOUSE

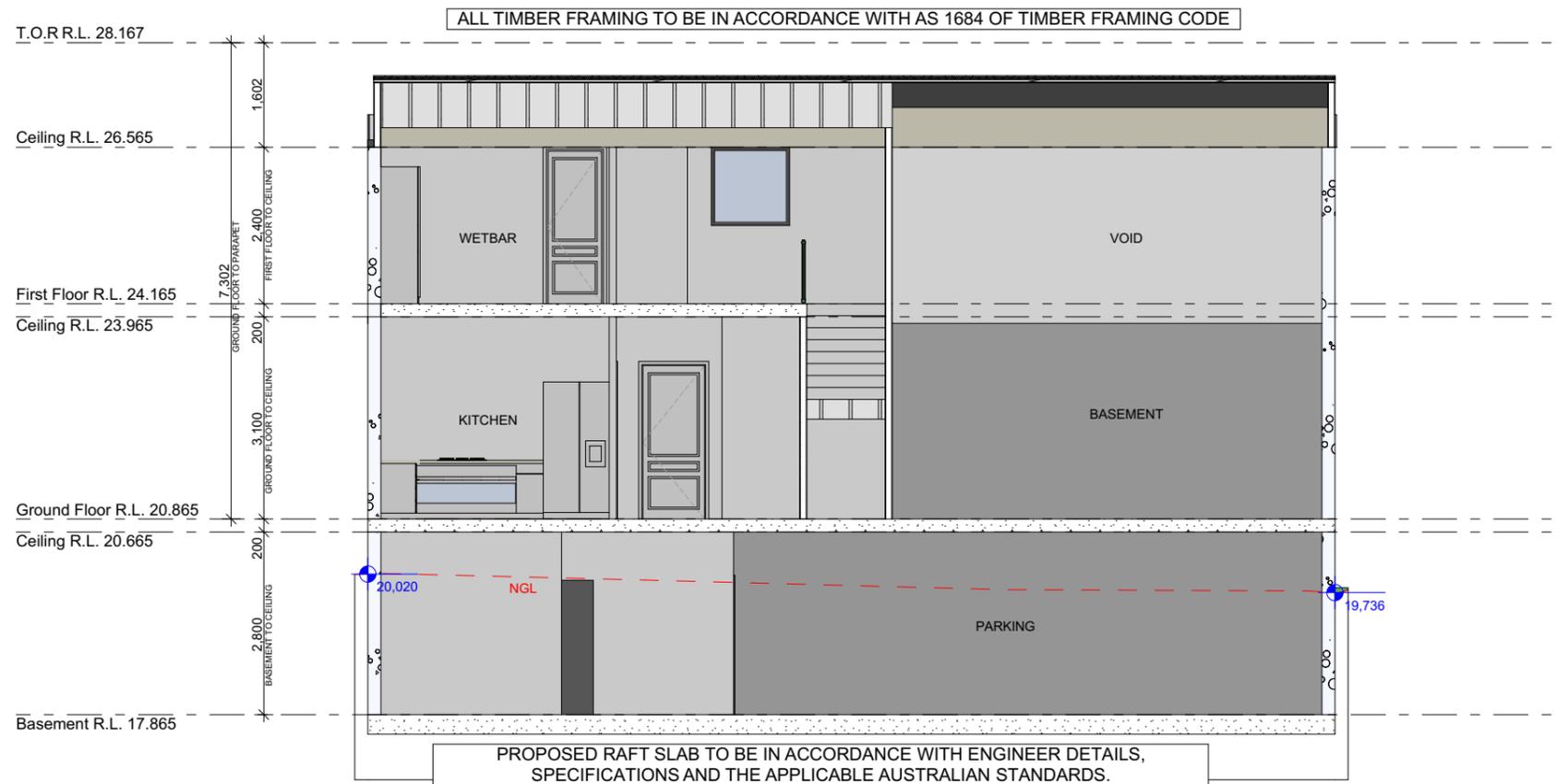
At
84 BRYANT ST
PADSTOW

Drawing Title:
- Elevations
East Elevation, West Elevation

BDA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

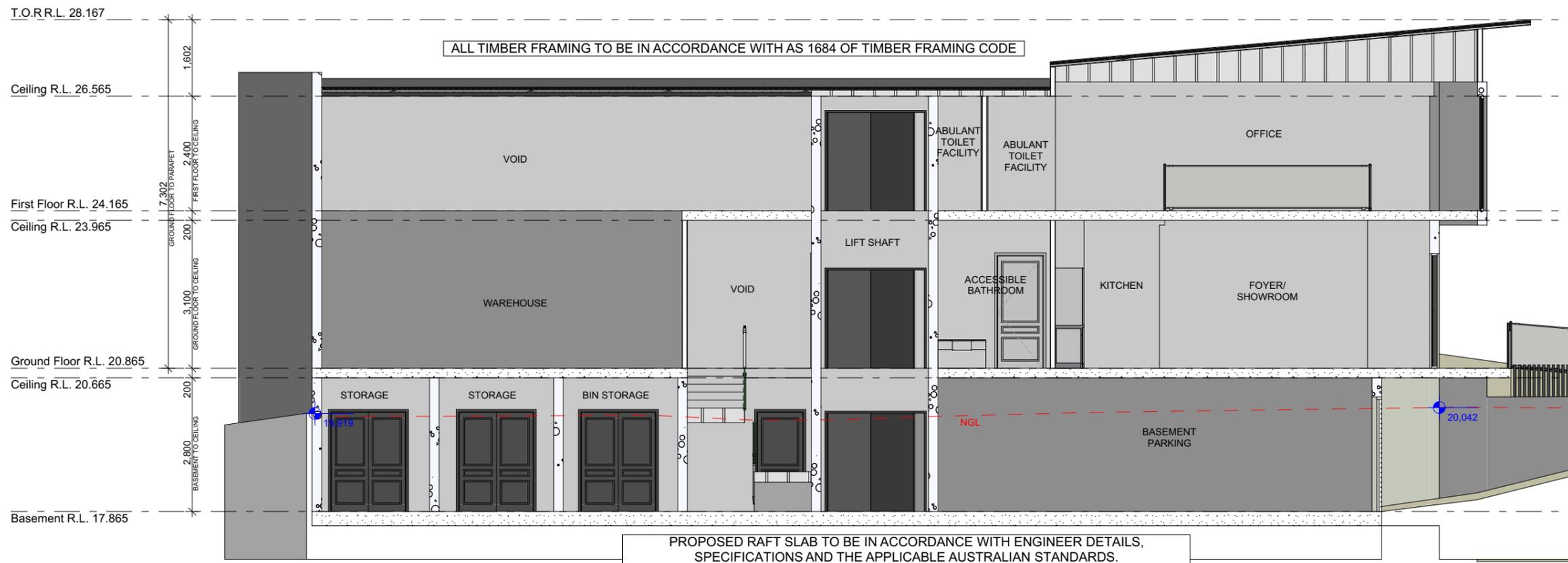
Project No:	Drawing No.:
#	15

Date: 26/03/2025



Section 1

1:100



Section 2

1:100

LEGEND

- S SINK
- +○ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
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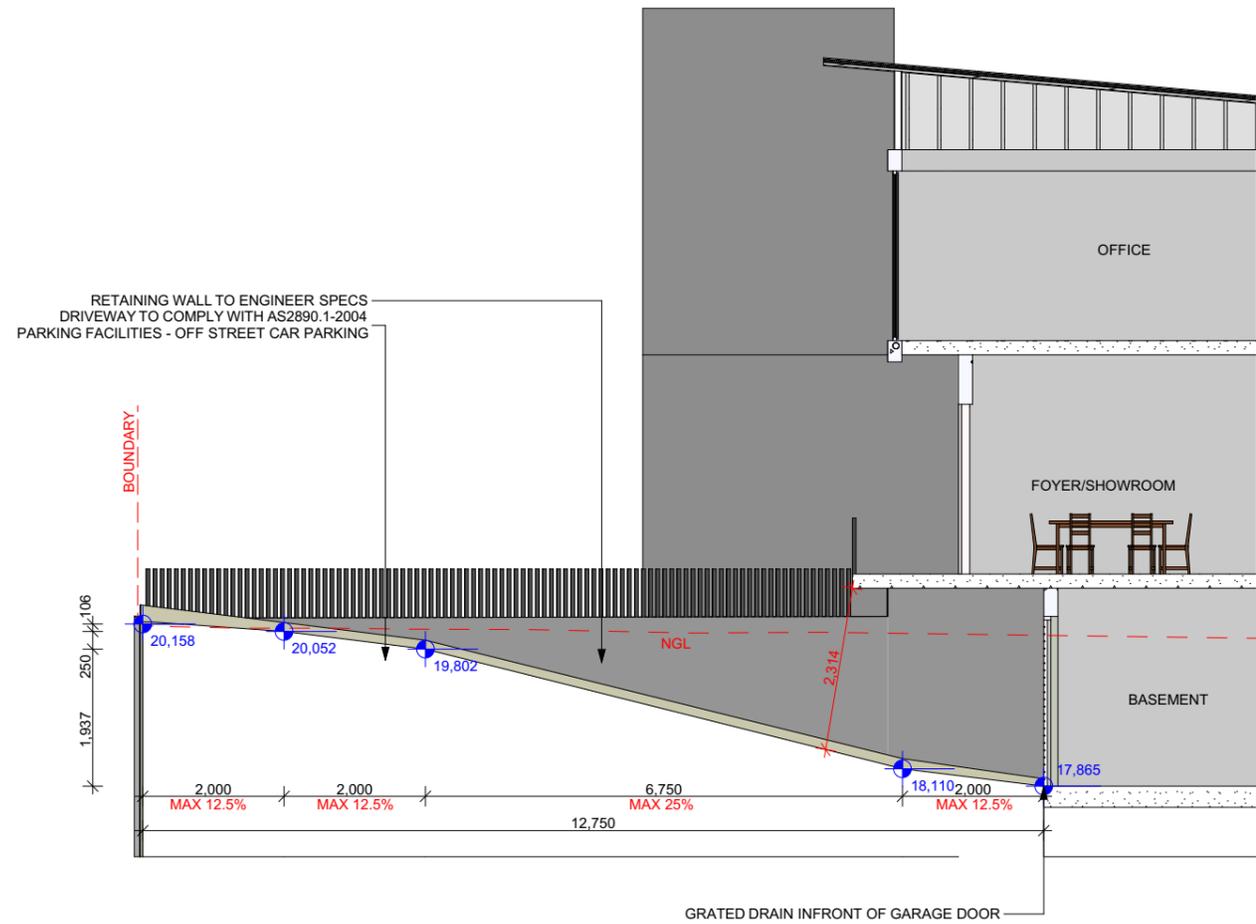
Client
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Project Name
WAREHOUSE

At
**84 BRYANT ST
PADSTOW**

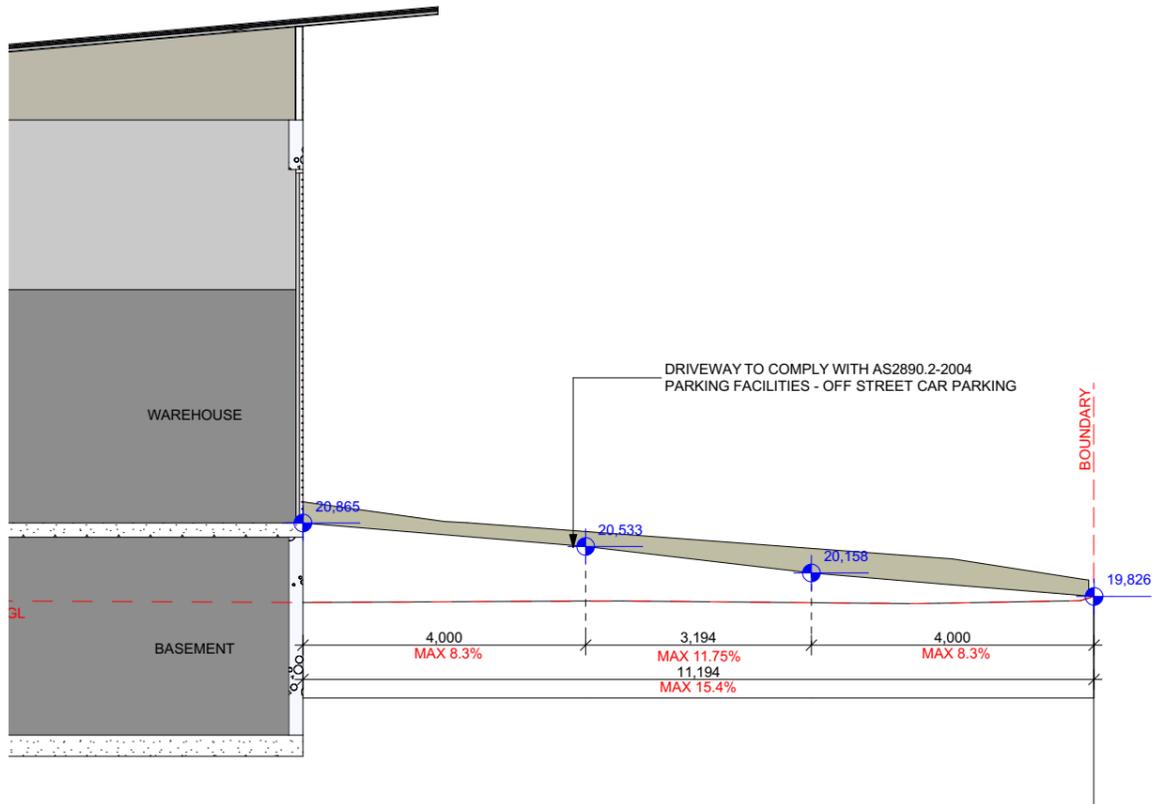
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- Sections/Common Wall Detail
Section 2, Section 1, Common Wall Detail

BDA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	
Project No:	Drawing No.:	
#	16	
Date:	26/03/2025	



Driveway Cross Section

1:100



Driveway Cross Section 2

1:100

LEGEND	
S	SINK
⊕	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
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ASSOCIATION OF AUSTRALIA

Client
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Project Name
WAREHOUSE

At
84 BRYANT ST
PADSTOW

Drawing Title:
- Driveway Cross Section
Driveway Cross Section, Driveway Cross Section 2

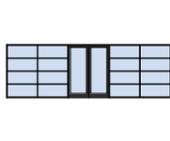
BDA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

Project No:	Drawing No.:
	17

Date: 26/03/2025

DOOR SCHEDULE

D00 REPRESENTS DOOR OPENINGS

Home Story	Door Schedule									
	Basement				Ground Floor				First Floor	
Door Name	Door 26	Double Door 26	Sliding Folding Mult...	Tilt Garage Door 26	Door 26	Double Door with 2 ...	Sliding Folding Mult...	Tilt Garage Door 26	Door 26	Sliding Folding Mult...
ID	D02	D04	D03	D01	D06	D05	D03	D07	D08	D04
Quantity	1	3	1	1	3	1	1	1	1	1
Height	2,060	2,100	2,100	2,400	2,340	2,400	2,100	5,000	2,340	2,100
Width	920	1,600	2,120	4,000	920	7,429	2,120	4,500	820	2,120
Elevation										

WINDOW SCHEDULE

Home Story	Window List		
	First Floor		
Window Name	Window 26	Window 26	Window 26
ID	W01	W02	W03
Quantity	1	2	1
Height	2,400	2,400	1,200
Width	4,331	1,700	1,200
Window sill height	300	300	1,200
Window head height	2,700	2,700	2,400
Elevation			

LEGEND

S	SINK
⊕	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
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REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25


CAMPBELL HILL
 GROUP PTY LTD.
 Contact: 0433 375 398
 Email: campbellhillgroup@hotmail.com


bdaa
 BUILDING DESIGNERS
 ASSOCIATION OF AUSTRALIA

Client
 PETER DELLIMANOLIS

Project Name
 WAREHOUSE

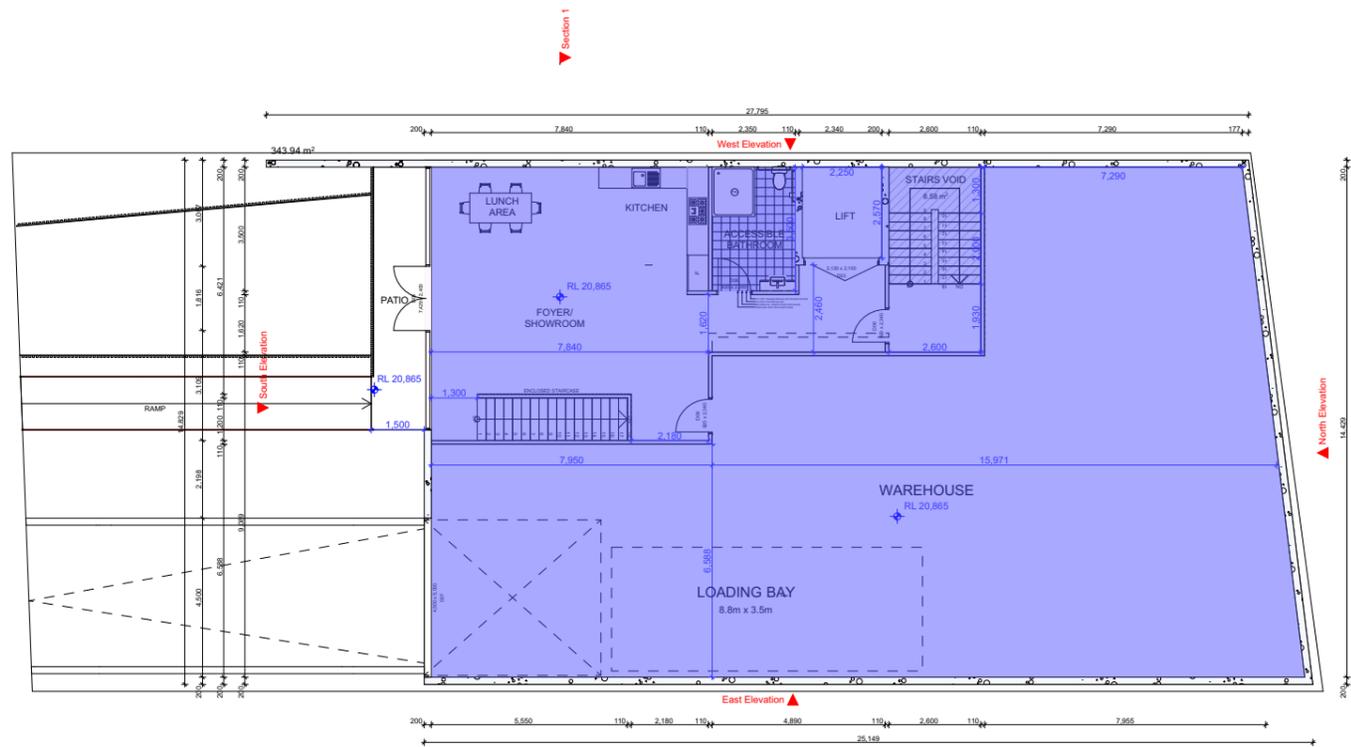
At
 84 BRYANT ST
 PADSTOW

Drawing Title:
 - Window & Door Schedule
 Door List, Window List

BDA ACCREDITATION NO: 6455
 Scale: As Noted A3
 Designed By: M.N

Project No: #
 Drawing No.: 18

Date: 26/03/2025



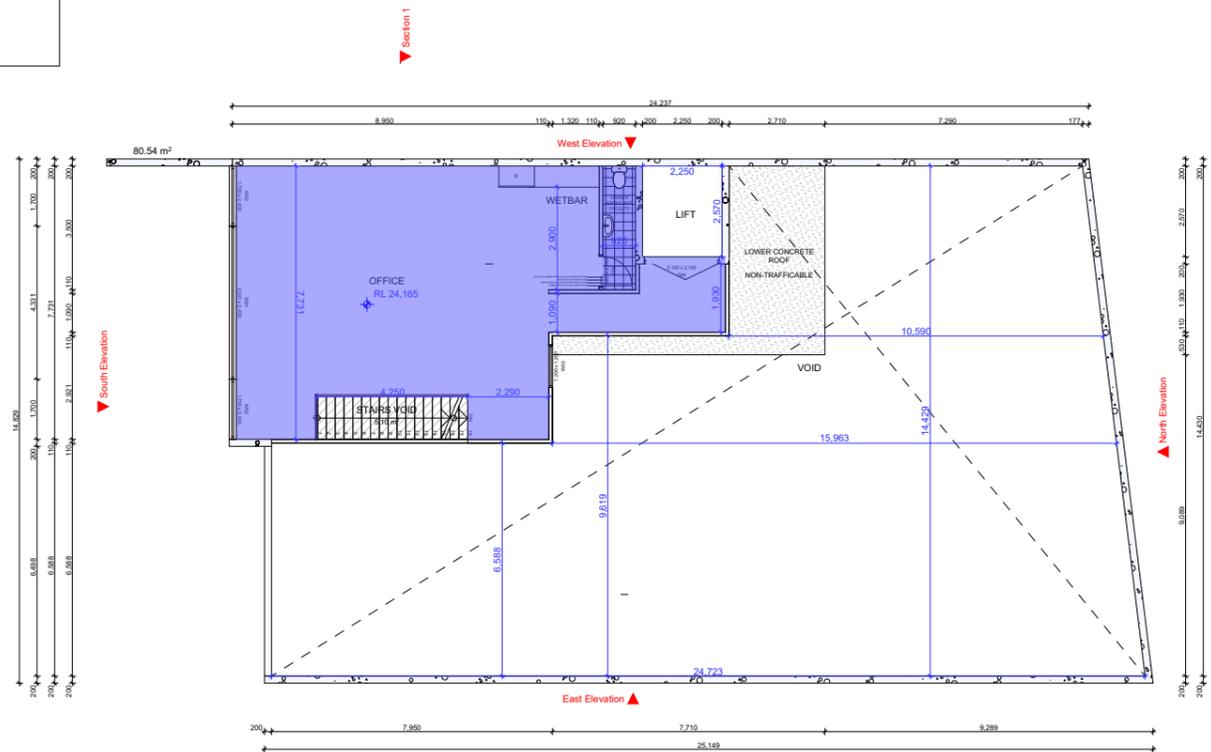
Ground Floor GFA Calculation

1:200

TOTAL FSR CALCULATION

FORMULA: 1:1

MAX FSR ALLOWED: 545.10m²
TOTAL FSR PROPOSED: 424.48m²



First Floor GFA Calculation

1:200

LEGEND

- S SINK
- ⊕ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

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REVISION C - CONCEPT	M.M	17/01/25
REVISION D - CONCEPT	M.M	08/02/25
REVISION E - CLIENT CHANGES	M.M	12/02/25
REVISION F - BCA CHANGES	M.M	04/03/25
REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
PETER DELLIMANOLIS

Project Name
WAREHOUSE

At
**84 BRYANT ST
PADSTOW**

Drawing Title:
- GFA Calculation Plan
Ground Floor GFA Calculation, First Floor GFA Calculation

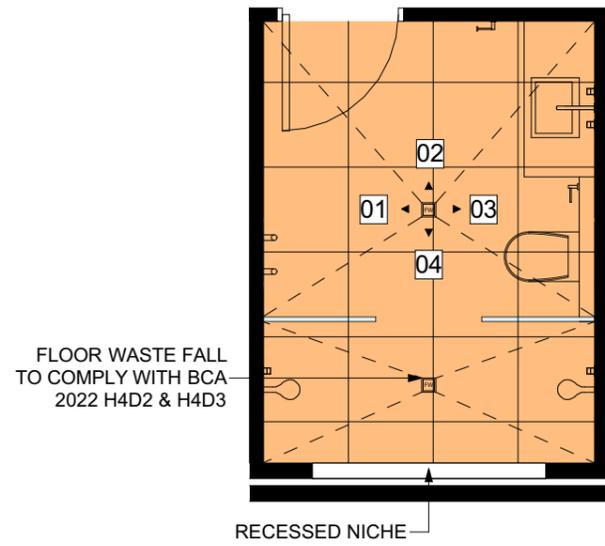
BDA ACCREDITATION NO: 6455
Scale: As Noted
Designed By: M.N

Project No: #
Drawing No.: **19**

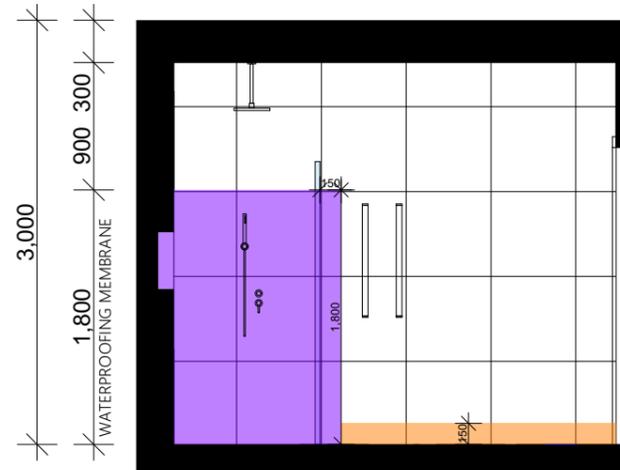
Date: 26/03/2025

WATERPROOFING LEGEND:

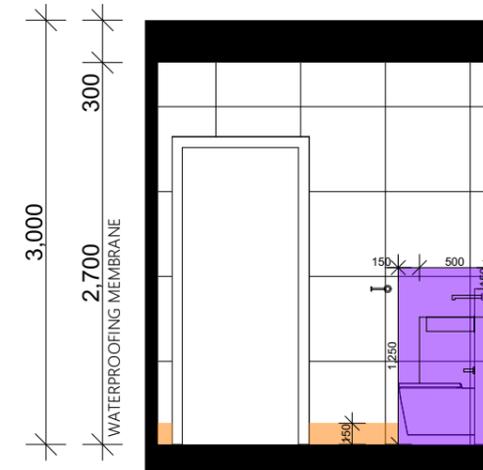
- FLOOR MEMBRANE
- WALL MEMBRANE



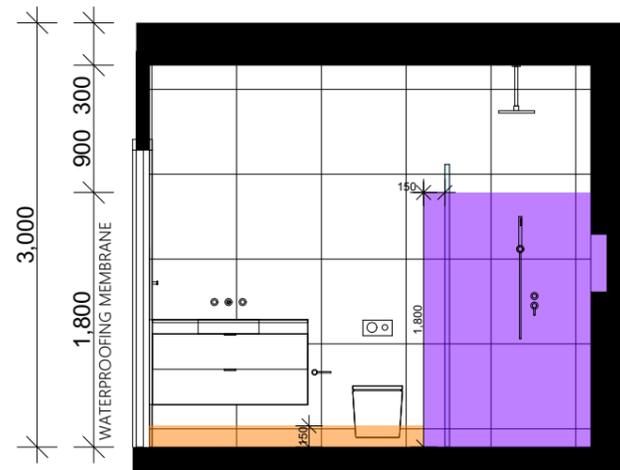
TYPICAL BATH PLAN



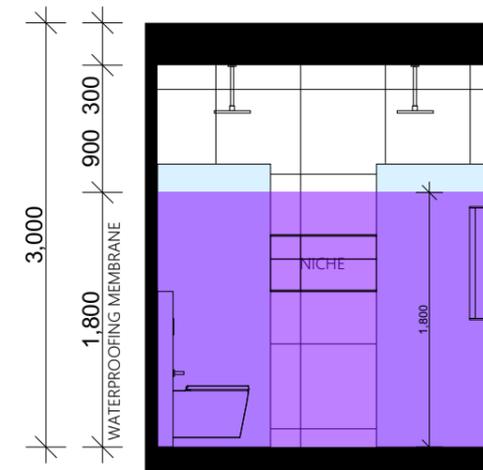
ELEVATION 01



ELEVATION 02



ELEVATION 03



ELEVATION 04

Typical Wet Area Details

1:50

LEGEND

- S SINK
- ⊕ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

GENERAL NOTES

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REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25

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ASSOCIATION OF AUSTRALIA

Client
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Project Name
WAREHOUSE

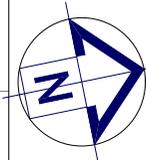
At
84 BRYANT ST
PADSTOW

Drawing Title:
- Typical Wet Area Details
Typical Wet Area Details

BDA ACCREDITATION NO: 6455
Scale: As Noted A3
Designed By: M.N

Project No: #
Drawing No.: 20

Date: 26/03/2025



LEGEND	
S	SINK
S/O	REDUCED LEVEL
(SA)	STOVE/OVEN COOKTOP
W	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X/C	ROOF PITCH
(FW)	FLOOR WASTE
LC	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONAL PURPOSES. FIGURED DIMENSIONS SHALL PREVAIL.

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TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

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bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
PETER DELLIMANOLIS

Project Name
WAREHOUSE

At
84 BRYANT ST
PADSTOW

Drawing Title
- A4 Notification Plan
Site Plan

BDAA ACCREDITATION NO: 6455
Scale: As Noted
Designed By: M.N

Project No: #
Drawing No.: 21

Date: 28/03/2025

TOTAL FSR CALCULATION
MAX GROUND FLOOR AREA ALLOWED: 381.57 m²
GROUND FLOOR AREA PROPOSED: 343.94 m²
PARKING SPOTS REQUIRED: 6

TOTAL FSR CALCULATION
MAX FSR ALLOWED: 545.10m²
TOTAL FSR PROPOSED: 424.48m²

DWELLING AREAS

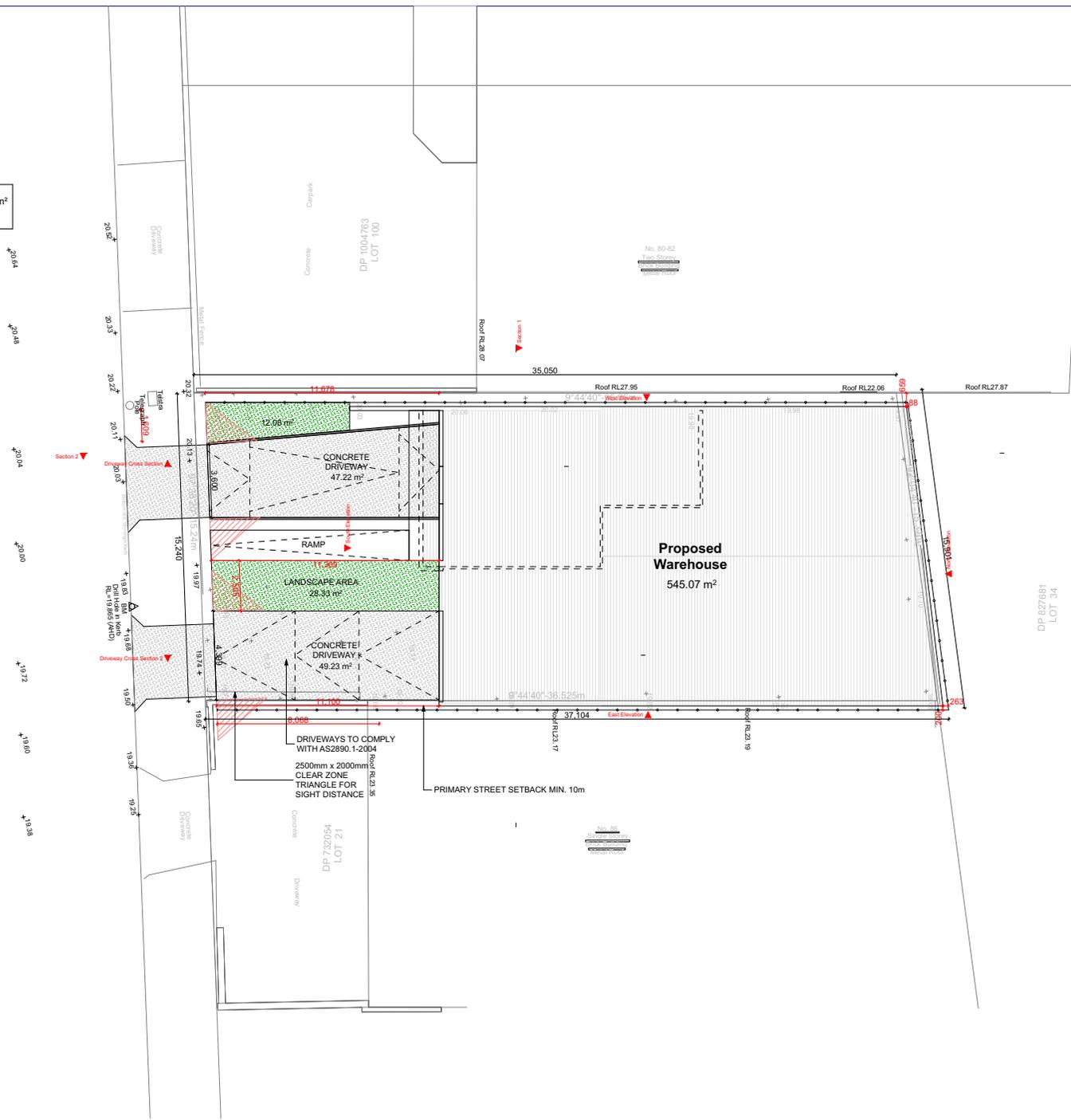
SITE DETAILS
LOT NUMBER: 20
DP NUMBER: 732054
SITE AREA (DP): 545.10m²
SITE AREA (CALC): 545.10m²

WAREHOUSE
TOTAL SUBDIVIDED AREA: 545.10m²
GROUND FLOOR AREA: 343.94 m²
FIRST FLOOR AREA: 80.54 m²
STAIRCASE VOID: 13.68 m²
BASEMENT: 343.94 m²
PORCH: 11.14 m²
DRIVEWAY: 96.45 m²
TOTAL ROOF AREA: 383.87m²

LEGEND:

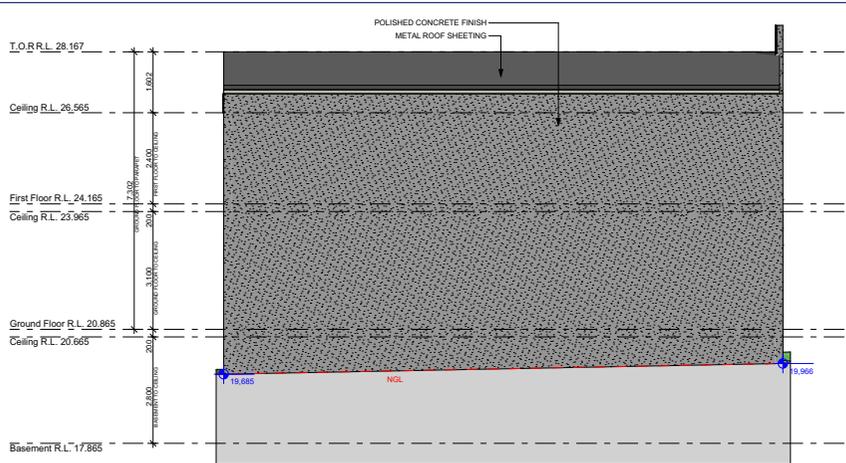
	CONCRETE AREA
	LANDSCAPE AREA
	RETAINING WALLS

BRYANT STREET

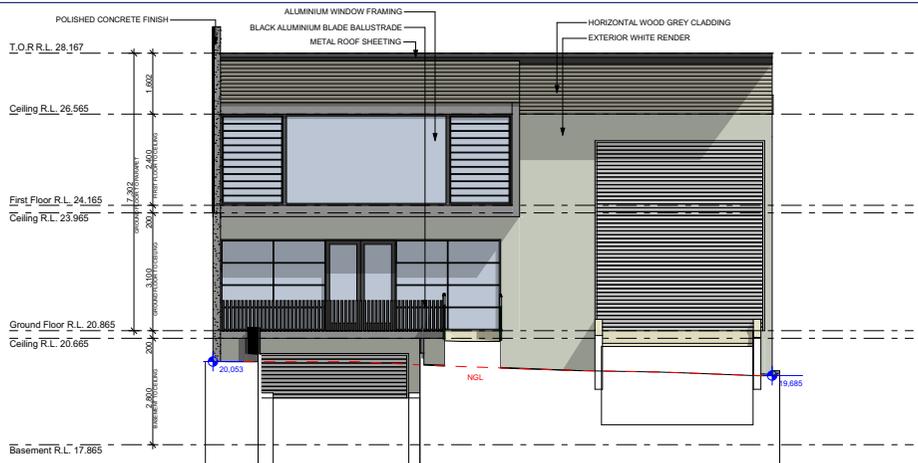


Site Plan

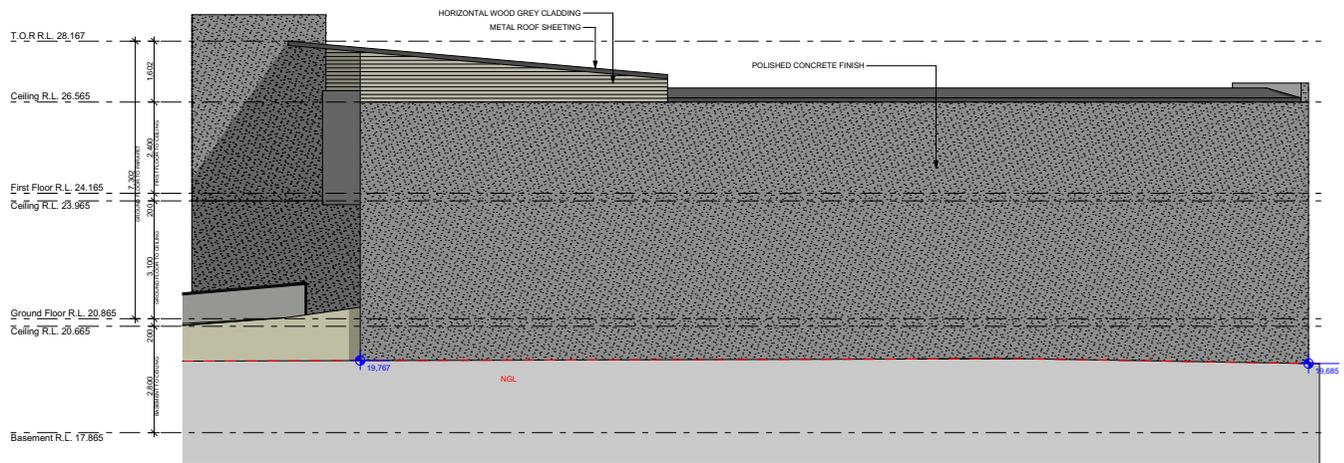
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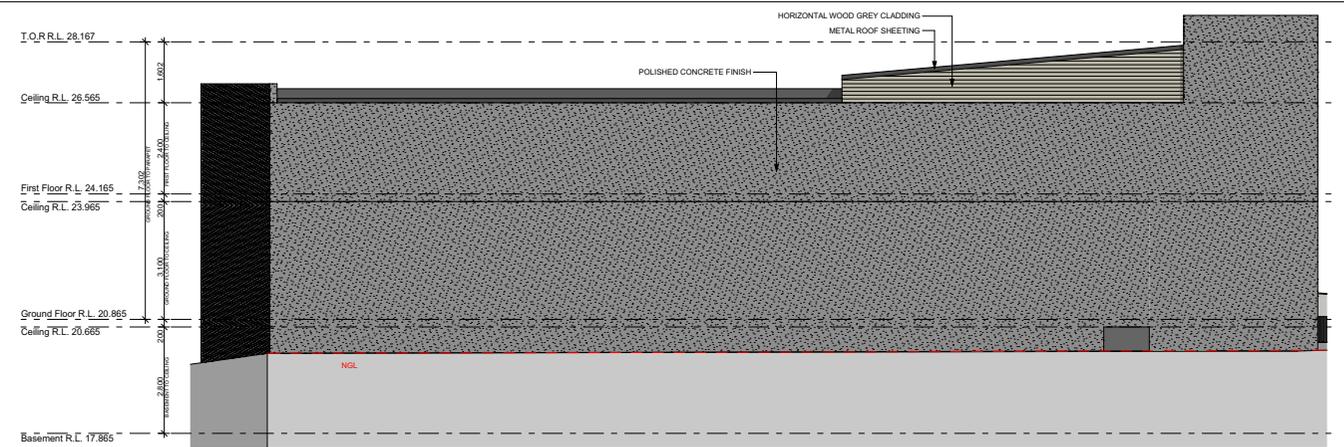
North Elevation



South Elevation



East Elevation



West Elevation

LEGEND

- S SINK
- ▲ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- W SMOKE ALARM
- (S) WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R. TOP OF ROOF
- T.O.P. TOP OF PARAPET
- B.I.R. BUILD IN ROBE
- W.I.R. WALK IN ROBE
- WATER FLOW DIRECTION
- X/C ROOF PITCH
- (F) FLOOR WASTE
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- P.O.S PRIVATE OPEN SPACE
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ASSOCIATION OF AUSTRALIA

Client
PETER DELLIMANOLIS

Project Name
WAREHOUSE

At
84 BRYANT ST
PADSTOW

Drawing Title:
- A4 Notification Plan
North Elevation, East Elevation, South Elevation, West Elevation

BDMA ACCREDITATION NO: 6455 Scale: As Noted A4

Project No: # Drawing No: 22

Date: 28/03/2025