



84 BRYANT ST  
PADSTOW

PROPOSED WAREHOUSE

## DRAWING SCHEDULE

- 01 FRONT PERSPECTIVE/CONTENTS
- 02 AXON RENDERS/MATERIALS
- 03 SITE PLAN
- 04 SEDIMENT CONTROL PLAN
- 05 STREETScape
- 06 SUN STUDY
- 07 SITE ANALYSIS PLAN
- 08 DEMOLITION PLAN
- 09 CUT AND FILL PLAN
- 10 BASEMENT PLAN
- 11 GROUND FLOOR PLAN
- 12 FIRST FLOOR PLAN
- 13 ROOF PLAN
- 14 ELEVATIONS
- 15 ELEVATIONS
- 16 SECTIONS
- 17 DRIVEWAY CROSS SECTIONS
- 18 WINDOW & DOOR SCHEDULE
- 19 GFA CALCULATION PLAN
- 20 TYPICAL WET AREA DETAILS
- 21 A4 NOTIFICATION PLAN (SITE)
- 22 A4 NOTIFICATION PLAN (ELEVATIONS)
- 23 BASIX REQUIREMENTS

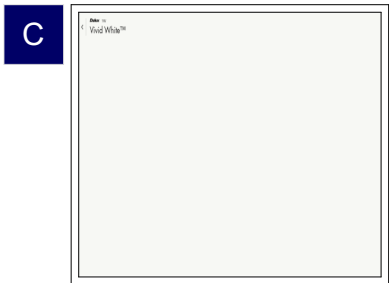
EXTERNAL MATERIAL SCHEDULE



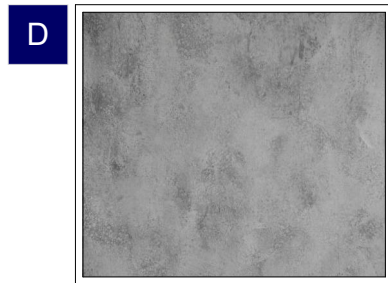
PGH BRICKS - DARK & STORMY THUNDER



COLORBOND ROOF - MONUMENT



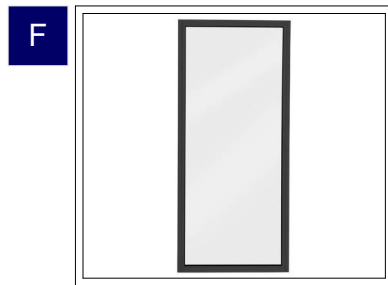
DULUX VIVID WHITE



CONCRETE FINISH OR SIMILAR



BLACK ALUMINIUM DOUBLE FRONT DOOR



BLACK WINDOW FRAMING



BLACK SEAMLESS GARAGE DOOR



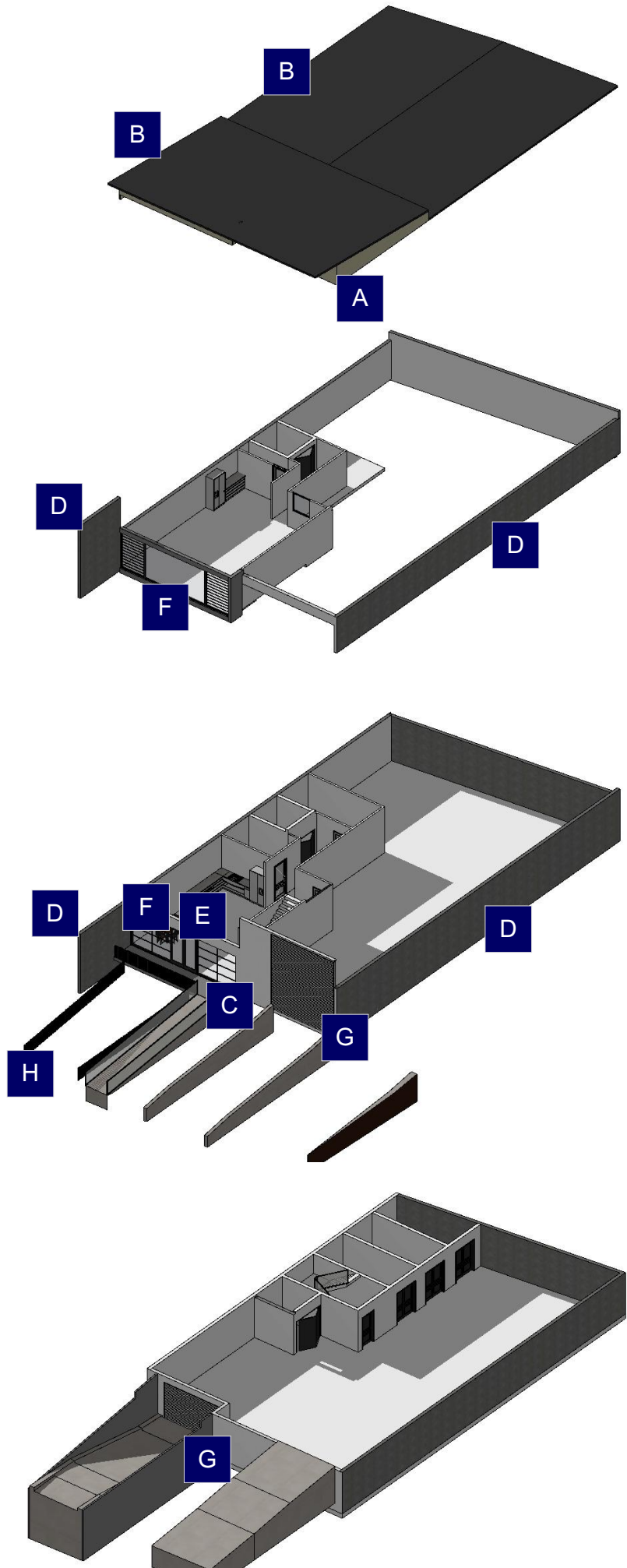
BLACK ALUMINIUM BLADE BALUSTRADE

AXONOMETRIC RENDERS

ROOF

FIRST FLOOR

GROUND FLOOR



**LEGEND**

S SINK  
+ REDUCED LEVEL  
S/O STOVE/OVEN COOKTOP  
(SA) SMOKE ALARM  
W WASHING MACHINE  
D DRYER  
F FRIDGE  
DW DISHWASHER  
(DP) DOWNPIPE  
T.O.R TOP OF ROOF  
T.O.P TOP OF PARAPET  
B.I.R BUILD IN ROBE  
W.I.R WALK IN ROBE  
→ WATER FLOW DIRECTION  
X° ROOF PITCH  
(FW) FLOOR WASTE  
L/C LINEN CUPBOARD  
P.O.S PRIVATE OPEN SPACE  
LP LIGHT POLE

**GENERAL NOTES**

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- FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.

- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

- WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.

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- ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER

- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

REVISION	NAME	DATE
REVISION A - CONCEPT	M.M	08/11/24
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REVISION C - CONCEPT	M.M	17/01/25
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REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25

**CAMPBELL HILL**  
GROUP PTY LTD.  
Contact: 0433 375 398  
Email: campbellhillgroup@hotmail.com

**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**Client**  
PETER DELLIMANOLIS

**Project Name**  
WAREHOUSE

**At**  
84 BRYANT ST  
PADSTOW

Drawing Title:  
**- Axon Renders/Materials**  
Generic Axonometry, Generic Axonometry (1), Generic Axonometry (2), Generic Axonometry (3)

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

Project No:	Drawing No.:
#	02

Date: 26/03/2025

**TOTAL FSR CALCULATION**  
MAX GROUND FLOOR AREA ALLOWED: 381.57 m<sup>2</sup>  
GROUND FLOOR AREA PROPOSED: 343.94 m<sup>2</sup>  
PARKING SPOTS REQUIRED: 6

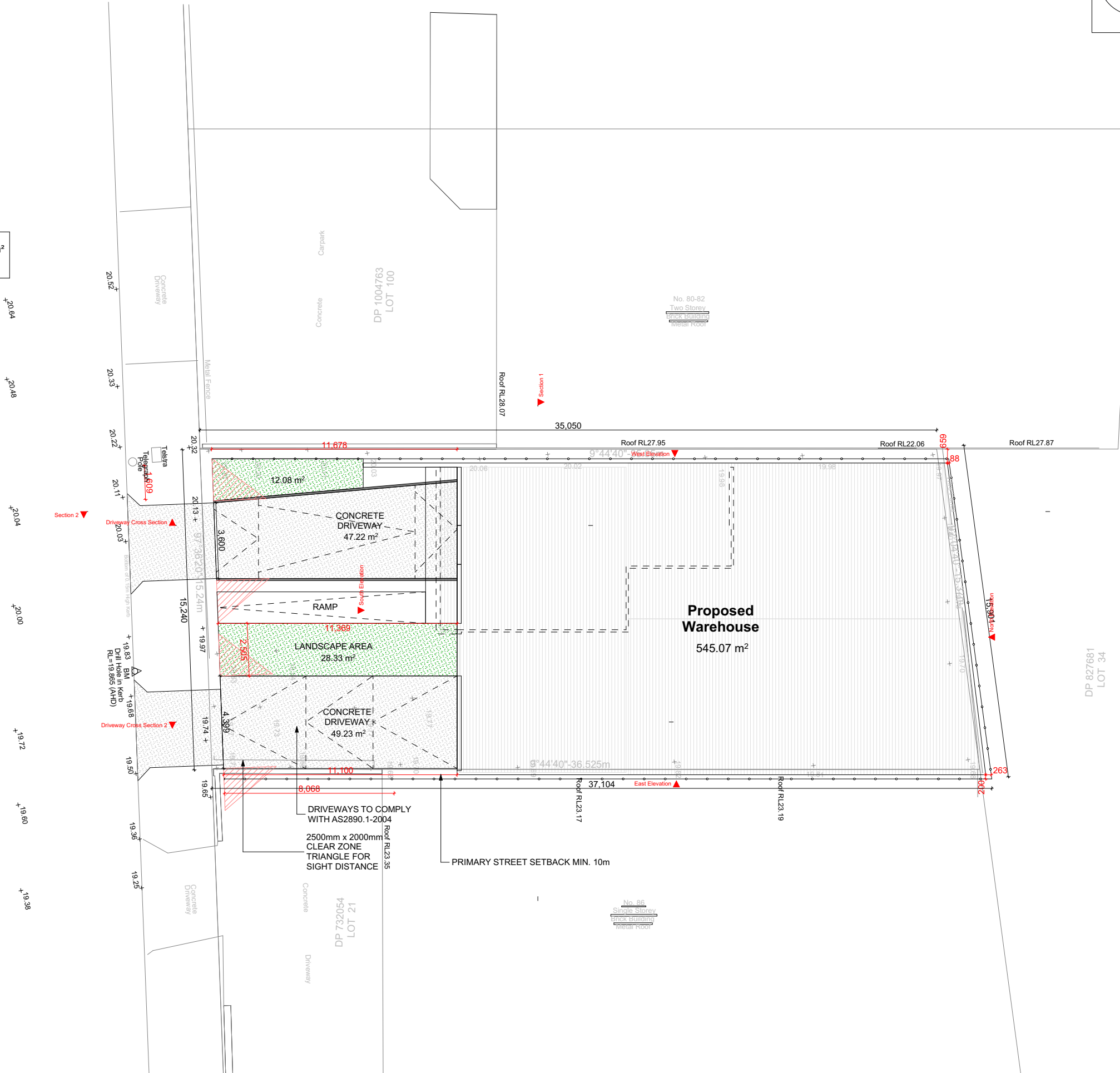
**TOTAL FSR CALCULATION**  
MAX FSR ALLOWED: 545.10m<sup>2</sup>  
TOTAL FSR PROPOSED: 424.48m<sup>2</sup>

**DWELLING AREAS**  
**SITE DETAILS**  
LOT NUMBER: 20  
DP NUMBER: 732054  
SITE AREA (DP): 545.10m<sup>2</sup>  
SITE AREA (CALC): 545.10m<sup>2</sup>  
**WAREHOUSE**  
**TOTAL SUBDIVIDED AREA: 545.10m<sup>2</sup>**  
GROUND FLOOR AREA: 343.94 m<sup>2</sup>  
FIRST FLOOR AREA: 80.54 m<sup>2</sup>  
STAIRCASE VOID: 13.68 m<sup>2</sup>  
BASEMENT: 343.94 m<sup>2</sup>  
PORCH: 11.14 m<sup>2</sup>  
DRIVEWAY: 96.45 m<sup>2</sup>  
TOTAL ROOF AREA: 383.87m<sup>2</sup>

LEGEND:

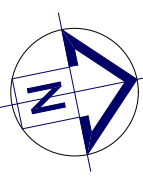
- CONCRETE AREA
- LANDSCAPE AREA
- RETAINING WALLS

BRYANT STREET



Site Plan

1:200#



- LEGEND**
- S SINK
  - + REDUCED LEVEL
  - S/O STOVE/OVEN COOKTOP
  - (SA) SMOKE ALARM
  - W WASHING MACHINE
  - D DRYER
  - F FRIDGE
  - DW DISHWASHER
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  - T.O.R TOP OF ROOF
  - T.O.P TOP OF PARAPET
  - B.I.R BUILD IN ROBE
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  - WATER FLOW DIRECTION
  - X° ROOF PITCH
  - (FW) FLOOR WASTE
  - L/C LINEN CUPBOARD
  - P.O.S PRIVATE OPEN SPACE
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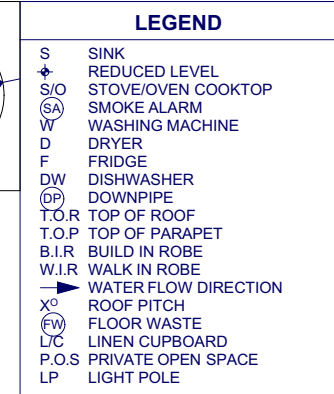
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**bdaa**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

<b>Client</b> PETER DELLIMANOLIS	
<b>Project Name</b> WAREHOUSE	
<b>At</b> 84 BRYANT ST PADSTOW	
<b>Drawing Title:</b> - Site Plan Site Plan	
BDAA ACCREDITATION NO: 6455	Scale: As Noted A3 Designed By: M.N
Project No:	Drawing No.: 03
Date: 26/03/2025	





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Client  
PETER DELLIMANOLIS

Project Name  
WAREHOUSE

At  
84 BRYANT ST  
PADSTOW

Drawing Title:  
- **Sediment Control Plan**  
Site Plan

BDAA ACCREDITATION NO: <b>6455</b>	Scale: As Noted	<b>A3</b>
	Designed By: M.N	

Project No:	Drawing No.:
#	04

Date: 26/03/2025



**LEGEND:**

 SECURITY DENCE

 SILT FENCE

 RETAINING WALLS

## STANDARD LINE TYPES AND SYMBOLS:

	PROPOSED KERB & GUTTER
	EXISTING KERB & GUTTER
	PROPOSED BELOW GROUND PIPELINE
	PROPOSED SUSPENDED PIPELINE
	EXISTING PIPELINE
	SUBSOIL DRAINAGE LINE
	PROPOSED KERB INLET PIT
	EXISTING KERB INLET PIT
	PROPOSED JUNCTION OR INLET PIT
	EXISTING JUNCTION OR INLET PIT
	DESIGN CENTRELINE
	EXISTING EDGE OF BITUMEN
	TELECOMMUNICATION CONDUIT
	GAS MAIN
	WATER MAIN
	SEWER MAIN
	UNDERGROUND ELECTRICITY CABLES
	PERMANENT MARK & S.S.M.
	BENCHMARK, SURVEY STATION

**SEDIMENT AND EROSION CONTROL NOTES**

SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE SUPERINTENDENT'S SATISFACTION.

A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE FRONT OF THE PROPERTY CONSISTING OF 50-75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAID OVER NEW 150 PUNCHING GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT NO SPILL OR FILL ENCROACHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.

SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STRAP PICKETS ARE USED PLASTIC SAFETY CAPS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.

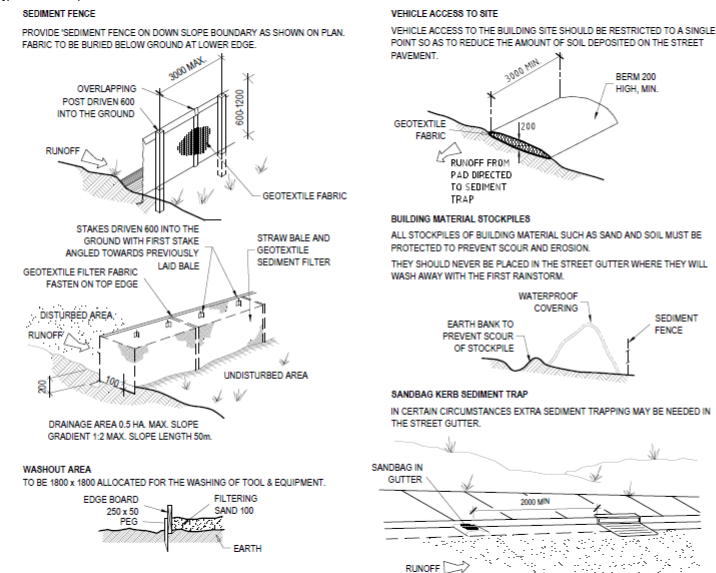
ALL TOPSOIL STRIPPED FROM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUSTAINLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.

**SOIL CONSERVATION NOTE:**

PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE', 'SEDIMENT TRAP' AND WASHOUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.

MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP' AFTER EACH STORM.

**SEDIMENT TRAP**  
1000 x 1000 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.



**GENERAL NOTES**

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE IN MILLIMETRES & ALL LEVELS ARE IN METRES, UNO (UNLESS NOTED OTHERWISE).

NO DIMENSIONS SHALL BE OBTAINED BY SCALING THE DRAWINGS.

ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.

DURING EXCAVATION WORK THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED.

ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE SPECIFICATION.

EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.

ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.

ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.

ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROOF PAVEMENTS, UNLESS DIRECTED OTHERWISE.

CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.

**STORMWATER DRAINAGE**

THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 2500.3 - 1998 "STORMWATER DRAINAGE" & AS/NZS 2500.3.2-1998 "STORMWATER DRAINAGE - ACCEPTABLE SOLUTIONS".

ANY VARIATIONS TO THE NOMINATED LEVELS SHALL BE REFERRED TO ENGINEER IMMEDIATELY.

ANY VARIATIONS TO SPECIFIED PRODUCTS OR DETAILS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

DOWN PIPES SHALL BE A MINIMUM OF D150 SW GRADE UPVC OR 100X100 COLORBOND/ZINCALUME STEEL, UNO.

BOX COLORBOND OR ZINCALUME STEEL. GUTTERS SHALL BE A MINIMUM OF 450 WIDE X 150 DEEP.

EAVES GUTTERS SHALL BE A MINIMUM OF 125 WIDE X 100 DEEP (OR OF EQUIVALENT AREA) COLORBOND OR ZINCALUME STEEL.

SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.

## Site Plan

1:200 #

## 86



1:200

- ⬆ SINK
- ⬆ REDUCED LEVEL
- ⬆ STOVE/OVEN COOKTOP
- ⬆(S) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
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PETER DELLIMANOLIS

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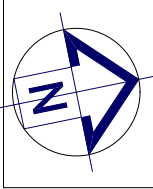
6455

Designed By: M.M

#

05

26/03/2025



LEGEND

- S SINK  
+ REDUCED LEVEL  
S/O STOVE/OVEN COOKTOP  
(SA) SMOKE ALARM  
W WASHING MACHINE  
D DRYER  
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REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25

Contact: 0433 375 398  
Email: campbellhillgroup@hotmail.com

BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Client

PETER DELLIMANOLIS

Project Name  
WAREHOUSE

At  
84 BRYANT ST  
PADSTOW

Drawing Title:  
- Sun Study  
June 21 12pm, June 21 4pm, June 21 8am

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

Project No:	Drawing No.:
#	06

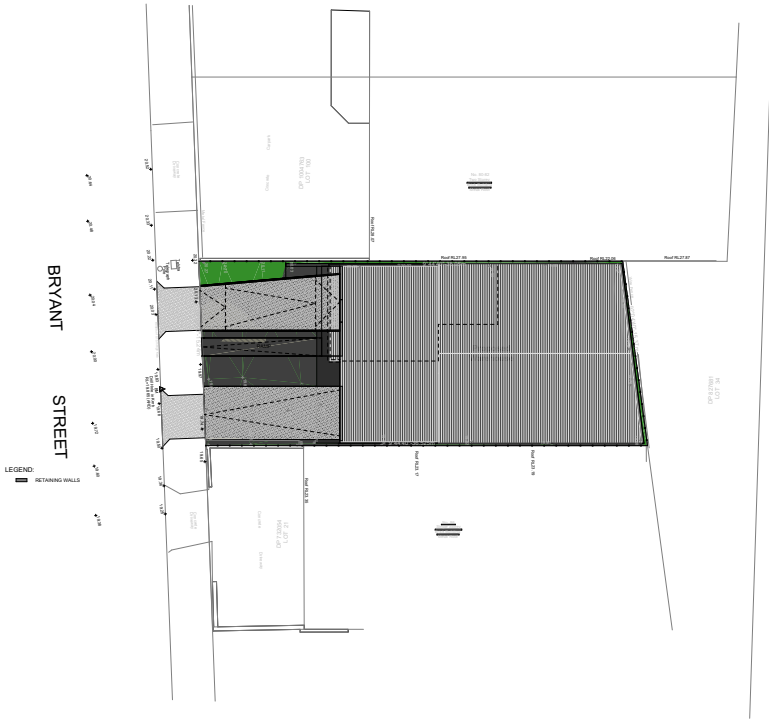
Date: 26/03/2025



June 21 8am



June 21 12pm



June 21 4pm

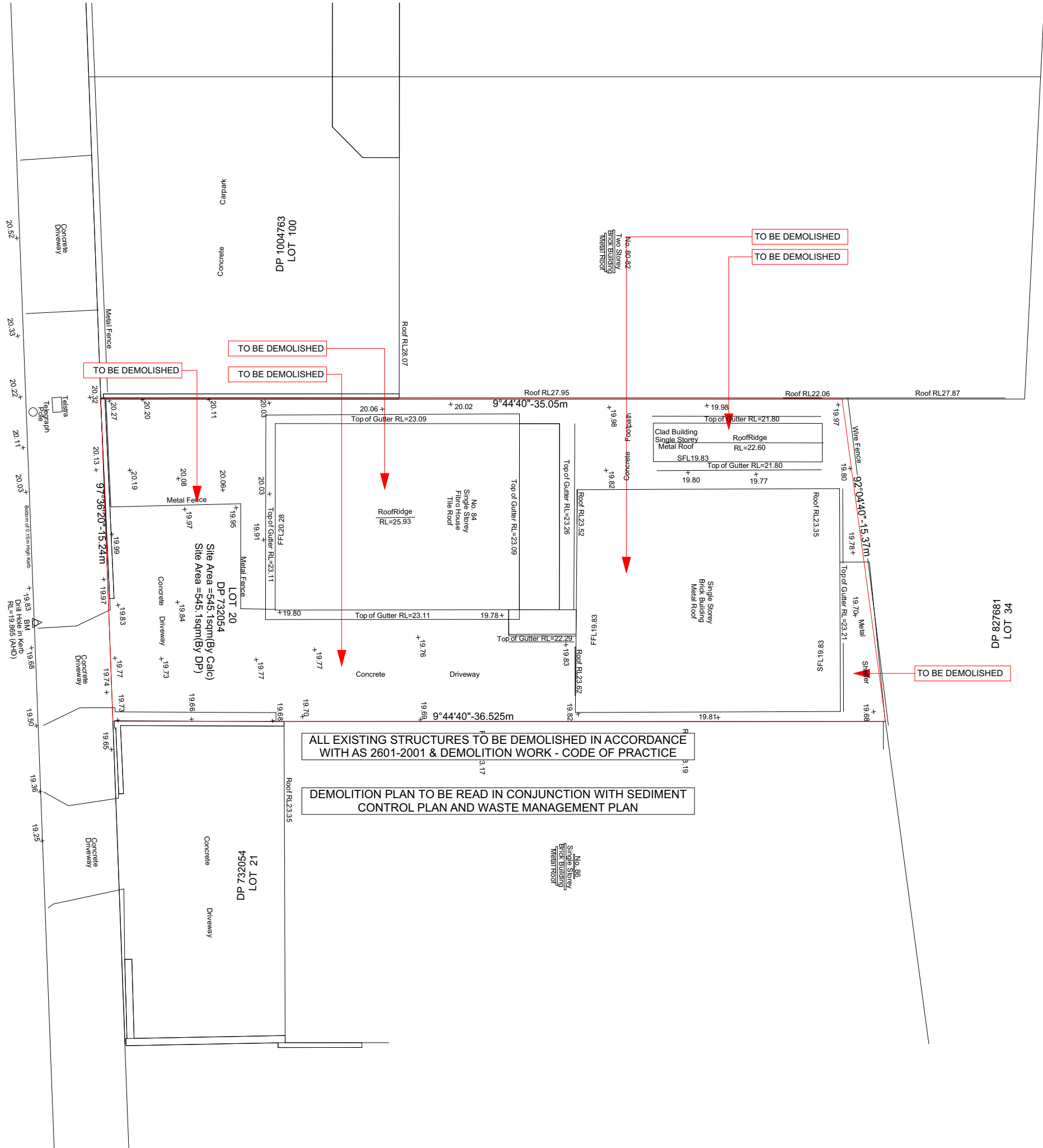




Site Analysis Plan

1:200

BRYANT STREET



Demolition Plan

**LEGEND**

S SINK  
+ REDUCED LEVEL  
S/O STOVE/OVEN COOKTOP  
(SA) SMOKE ALARM  
W WASHING MACHINE  
D DRYER  
F FRIDGE  
DW DISHWASHER  
(DP) DOWNPIPE  
T.O.P TOP OF ROOF  
T.O.P TOP OF PARAPET  
B.I.R BUILD IN ROBE  
W.I.R WALK IN ROBE  
→ WATER FLOW DIRECTION  
X° ROOF PITCH  
(FW) FLOOR WASTE  
L/C LINEN CUPBOARD  
P.O.S PRIVATE OPEN SPACE  
LP LIGHT POLE

**GENERAL NOTES**

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- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

- WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

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- ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER

- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

REVISION	NAME	DATE
REVISION A - CONCEPT	M.M	08/11/24
REVISION B - CONCEPT	M.M	16/12/24
REVISION C - CONCEPT	M.M	17/01/25
REVISION D - CONCEPT	M.M	08/02/25
REVISION E - CLIENT CHANGES	M.M	12/02/25
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REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25

**CAMPBELL HILL**  
GROUP PTY LTD.  
Contact: 0433 375 388  
Email: campbellhillgroup@hotmail.com

**BDA**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**Client**  
PETER DELLIMANOLIS

**Project Name**  
WAREHOUSE

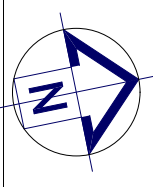
**At**  
84 BRYANT ST  
PADSTOW

**Drawing Title:**  
- Demolition Plan  
Demolition Plan

BDAA ACCREDITATION NO: 6455	Scale: As Noted Designed By: M.N	A3
Project No: #	Drawing No.: 08	
Date:		26/03/2025

1:200





LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

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**BDAA**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Client

PETER DELLIMANOLIS

Project Name

WAREHOUSE

At

84 BRYANT ST  
PADSTOW

Drawing Title:

- Cut/Fill Plan

BDAA ACCREDITATION NO:

6455

Scale: As Noted

A3

Designed By: M.N

Project No:

#

Drawing No.:

09

Date:

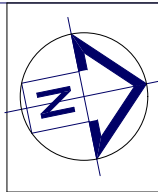
26/03/2025

LEGEND:

- CUT
- FILL
- RETAINING WALLS
- PROPOSED FINISH RL
- TOP OF WALL RL

Cut/Fill Plan

1:200



LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- LC LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
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REVISION H - TRAFFIC CHANGES	M.M	21/03/25



Contact: 0433 375 386  
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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Client  
PETER DELLIMANOLIS

Project Name  
WAREHOUSE

At  
84 BRYANT ST  
PADSTOW

Drawing Title:  
- Basement Plan  
Basement

BDAA ACCREDITATION NO:	Scale: As Noted	A2
6455	Designed By: M.N	

Project No:	Drawing No.:
	10

Date: 26/03/2025

LEGEND:

- RETAINING WALLS
- 00,000 TOP OF WALL RL
- 00,000 PROPOSED FINISH RL

ALL CONSTRUCTION TO COMPLY WITH  
AS1428.1-2009  
DESIGN FOR ACCESS & MOBILITY & THE  
BUILDING CODE OF ACCESSIBLE  
PARKING SPACE

Basement

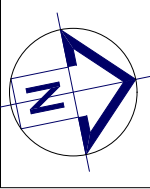
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LEGEND	
S	SINK
⬆	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25



**CAMPBELL HILL**  
GROUP PTY LTD.  
Contact: 0433 375 398  
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**BUILDING DESIGNERS**  
ASSOCIATION OF AUSTRALIA

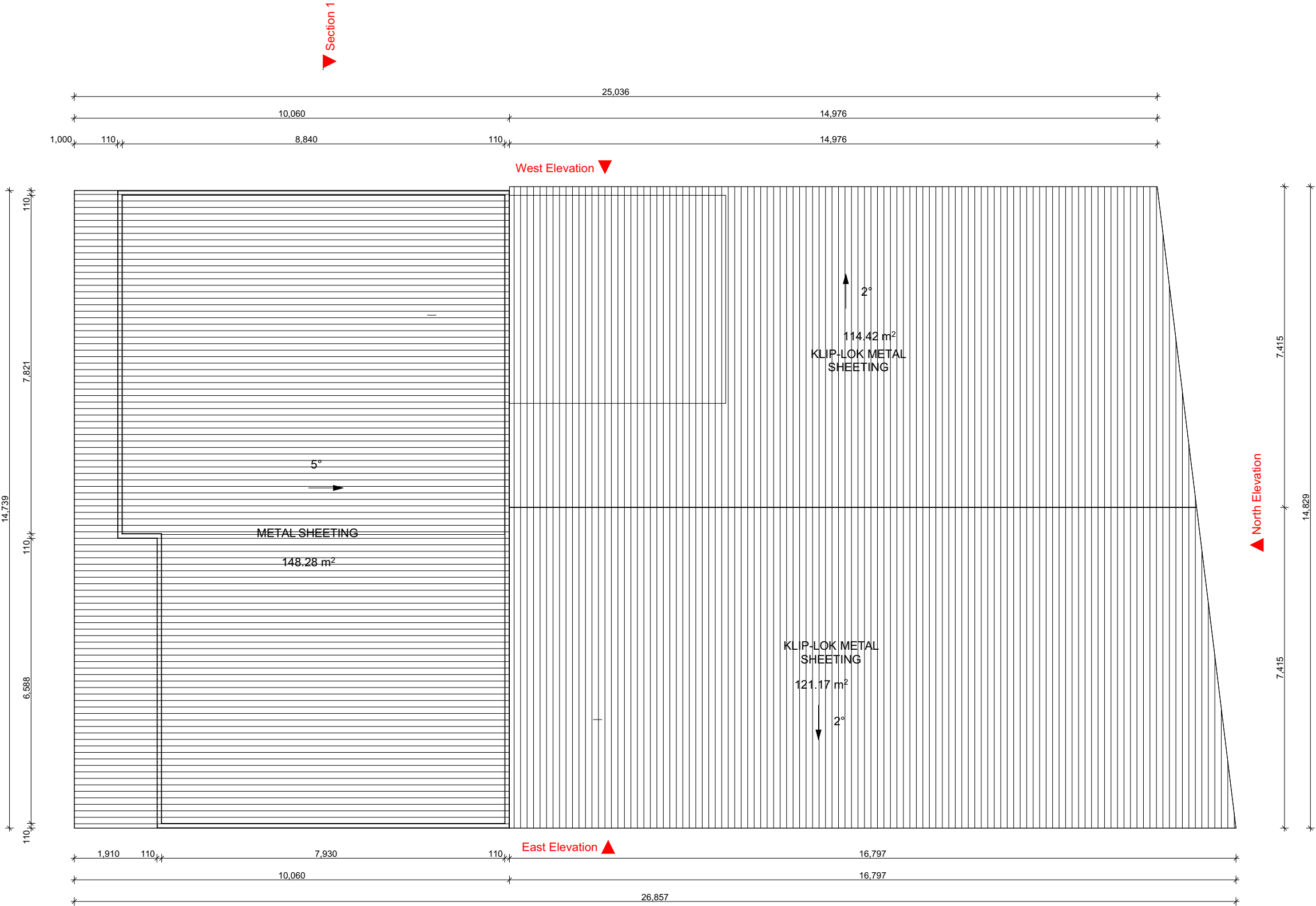
**Client**  
PETER DELLIMANOLIS

**Project Name**  
WAREHOUSE

**At**  
84 BRYANT ST  
PADSTOW

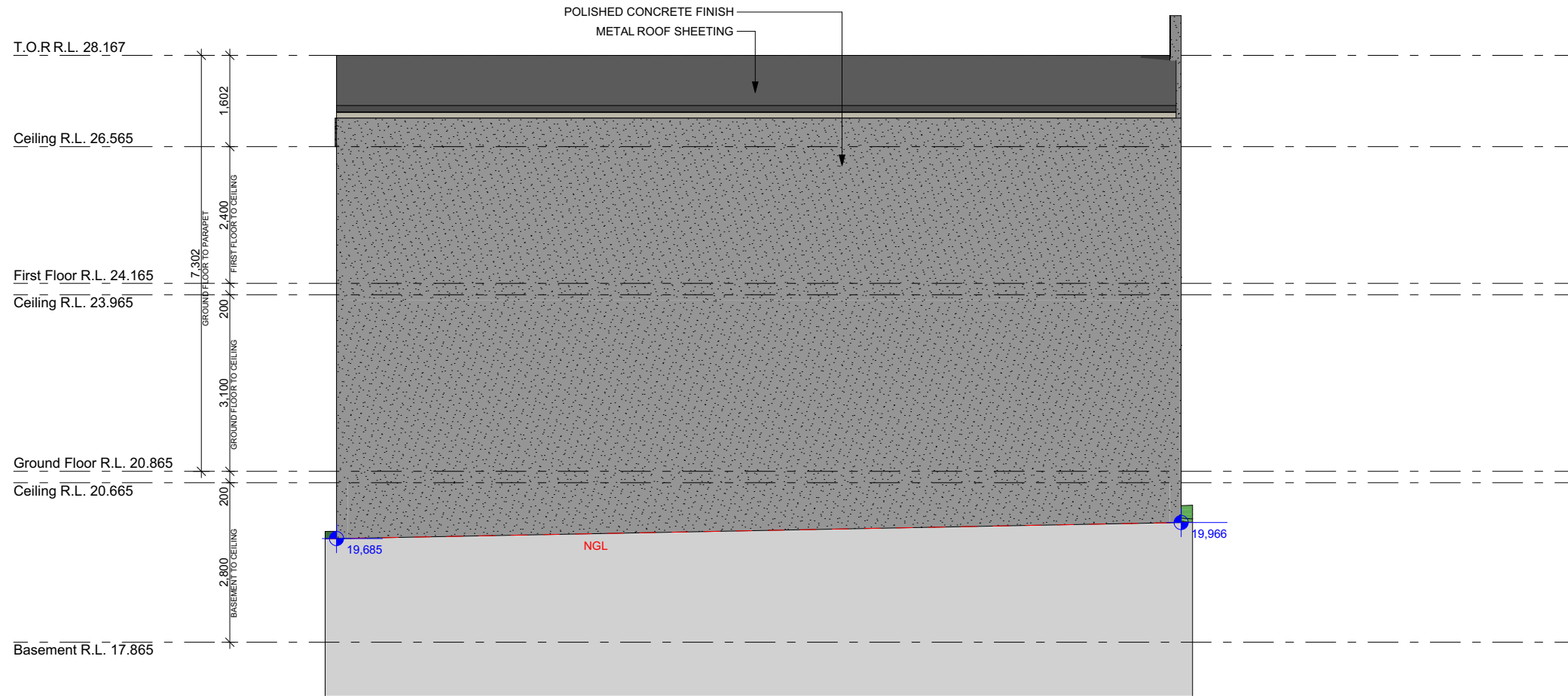
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**- Roof Plan**  
Roof Plan

BDAA ACCREDITATION NO: <b>6455</b>	Scale: As Noted <b>A3</b>
Project No: <b>#</b>	Drawing No.: <b>13</b>
Date: 26/03/2025	



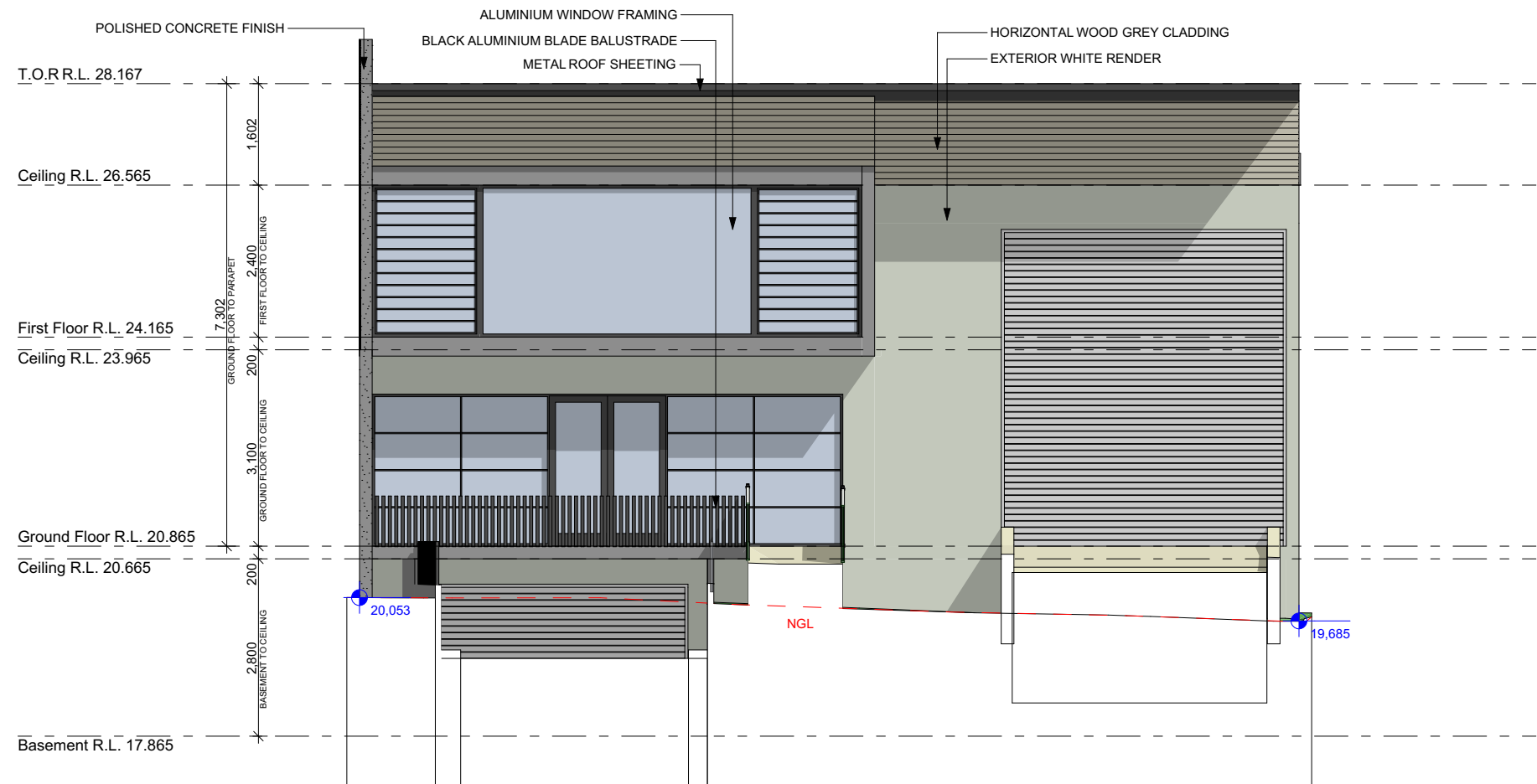
Roof Plan

1:100



North Elevation

1:100



South Elevation

1:100

LEGEND

S

SINK

⬆

REDUCED LEVEL

S/O

STOVE/OVEN COOKTOP

(SA)

SMOKE ALARM

W

WASHING MACHINE

D

DRYER

F

FRIDGE

DW

DISHWASHER

(DP)

DOWNPIPE

T.O.R

TOP OF ROOF

T.O.P

TOP OF PARAPET

B.I.R

BUILD IN ROBE

W.I.R

WALK IN ROBE

→

WATER FLOW DIRECTION

X°

ROOF PITCH

(FW)

FLOOR WASTE

L/C

LINEN CUPBOARD

P.O.S

PRIVATE OPEN SPACE

LP

LIGHT POLE

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CAMPBELL HILL

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bdaa

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

Client

PETER DELLIMANOLIS

Project Name

WAREHOUSE

At

84 BRYANT ST

PADSTOW

Drawing Title:

- Elevations

North Elevation, South Elevation

BDAA ACCREDITATION NO:

6455

Scale: As Noted

A3

Project No:

#

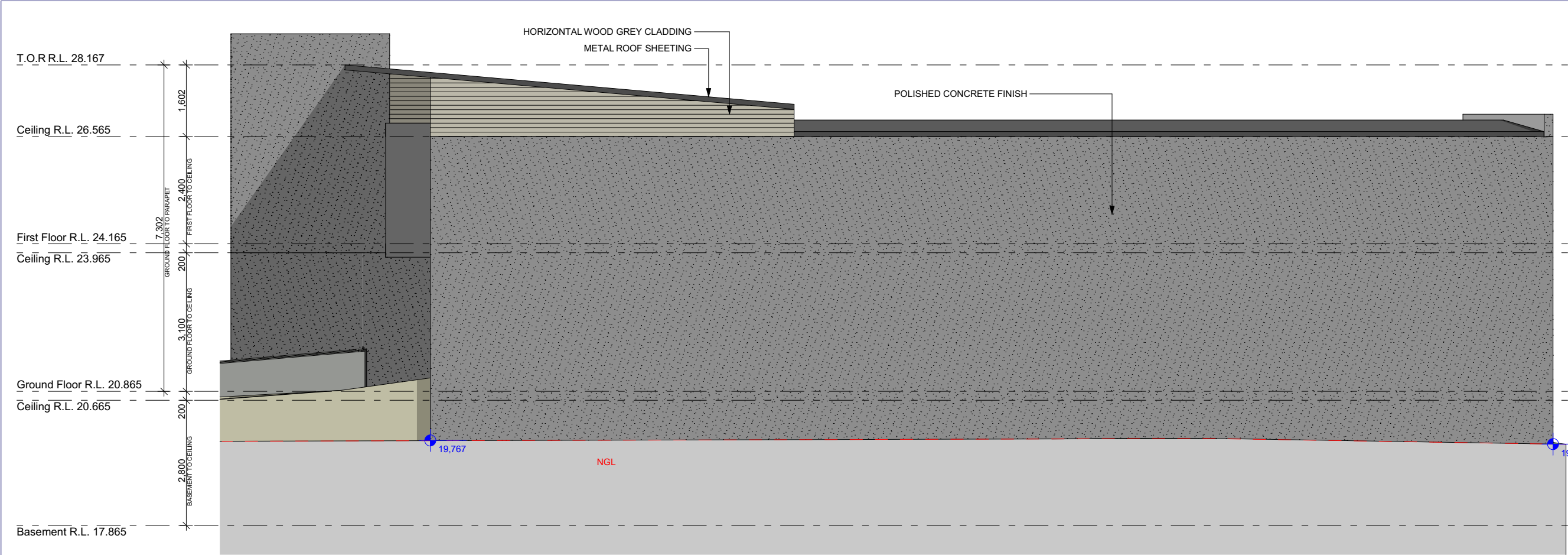
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Date:

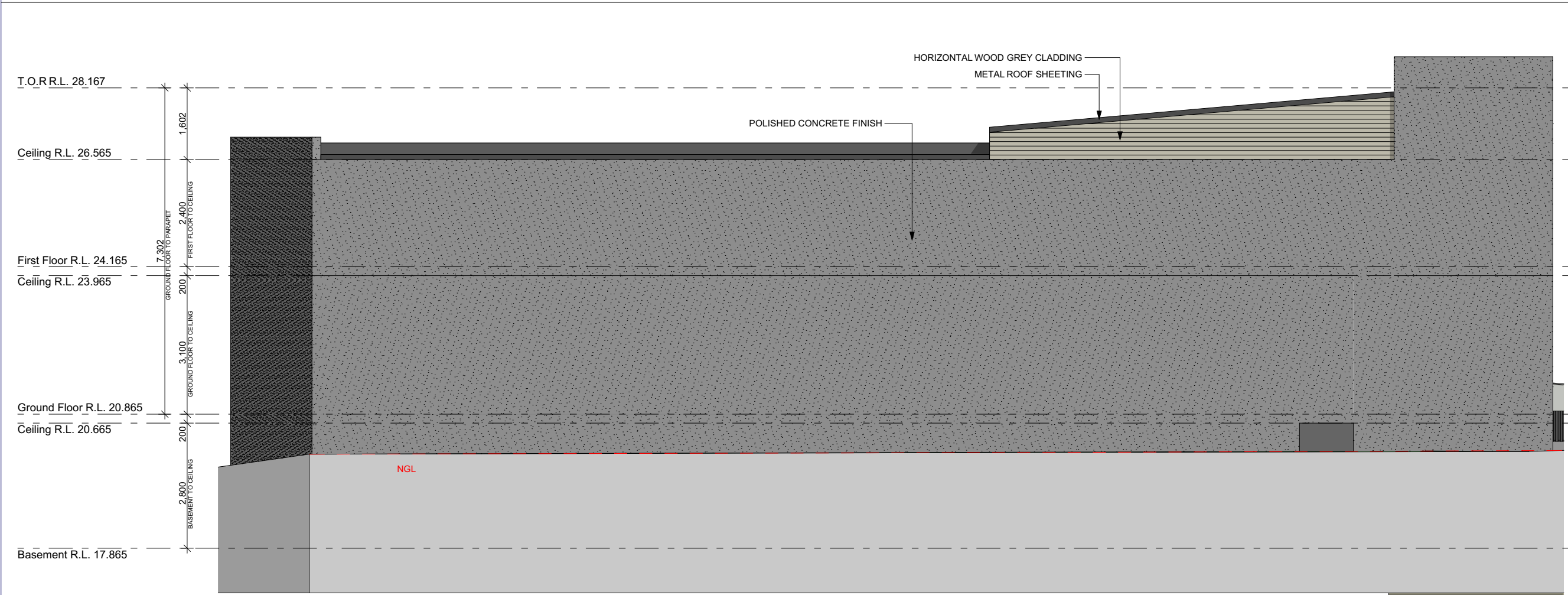
26/03/2025





East Elevation

1:100



West Elevation

1:100

LEGEND

S

SINK

⬇

REDUCED LEVEL

S/O

STOVE/OVEN COOKTOP

(SA)

SMOKE ALARM

W

WASHING MACHINE

D

DRYER

F

FRIDGE

DW

DISHWASHER

(DP)

DOWNPIPE

T.O.R

TOP OF ROOF

T.O.P

TOP OF PARAPET

B.I.R

BUILD IN ROBE

W.I.R

WALK IN ROBE

→

WATER FLOW DIRECTION

X°

ROOF PITCH

(FW)

FLOOR WASTE

L/C

LINEN CUPBOARD

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PRIVATE OPEN SPACE

LP

LIGHT POLE

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CAMPBELL HILL

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Contact: 0433 375 398

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bdaa

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

Client

PETER DELLIMANOLIS

Project Name

WAREHOUSE

At

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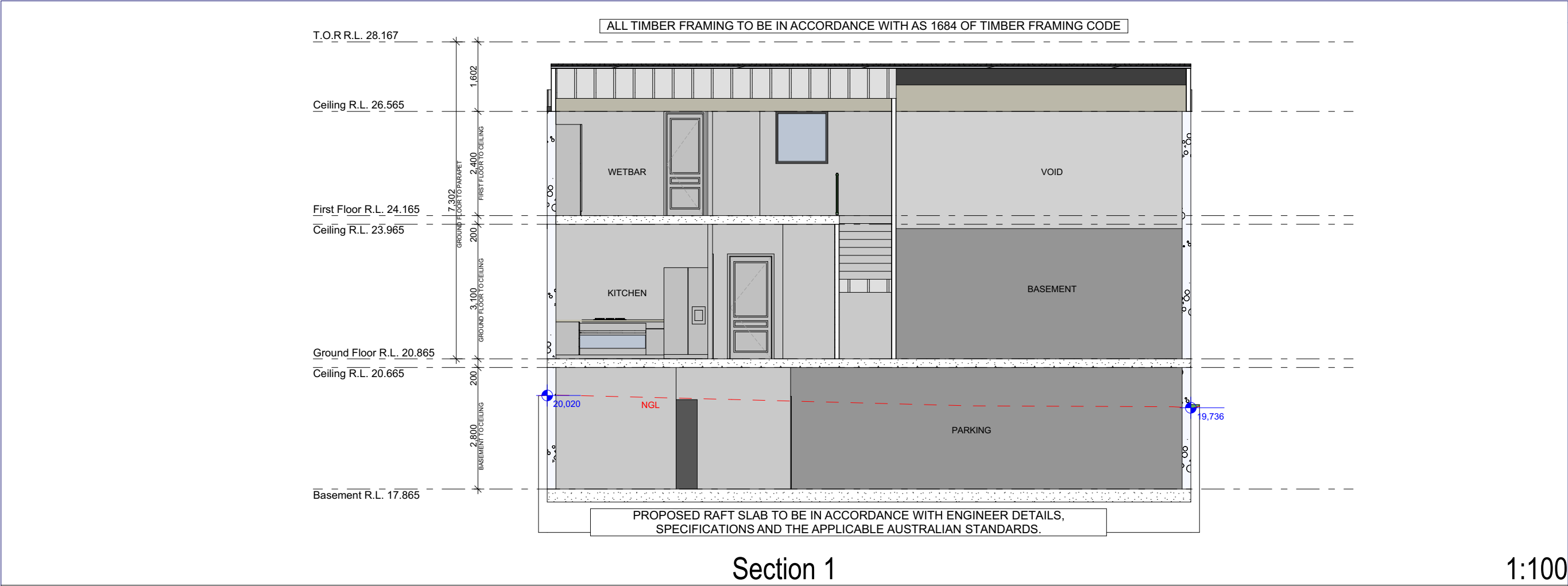
PADSTOW

Drawing Title:

- Elevations

East Elevation, West Elevation

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	
Project No:	Drawing No.:	
#	15	
Date:	26/03/2025	



**LEGEND**

S SINK  
S/O REDUCED LEVEL  
(SA) STOVE/OVEN COOKTOP  
W WASHING MACHINE  
D DRYER  
F FRIDGE  
DW DISHWASHER  
(DP) DOWNPIPE  
T.O.R TOP OF ROOF  
T.O.P TOP OF PARAPET  
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LP LIGHT POLE

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REVISION A - CONCEPT	M.M	08/11/24
REVISION B - CONCEPT	M.M	16/12/24
REVISION C - CONCEPT	M.M	17/01/25
REVISION D - CONCEPT	M.M	08/02/25
REVISION E - CLIENT CHANGES	M.M	12/02/25
REVISION F - BCA CHANGES	M.M	04/03/25
REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25

**CAMPBELL HILL GROUP PTY LTD.**  
Contact: 0433 375 398  
Email: campbellhillgroup@hotmail.com

**bdad BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA**

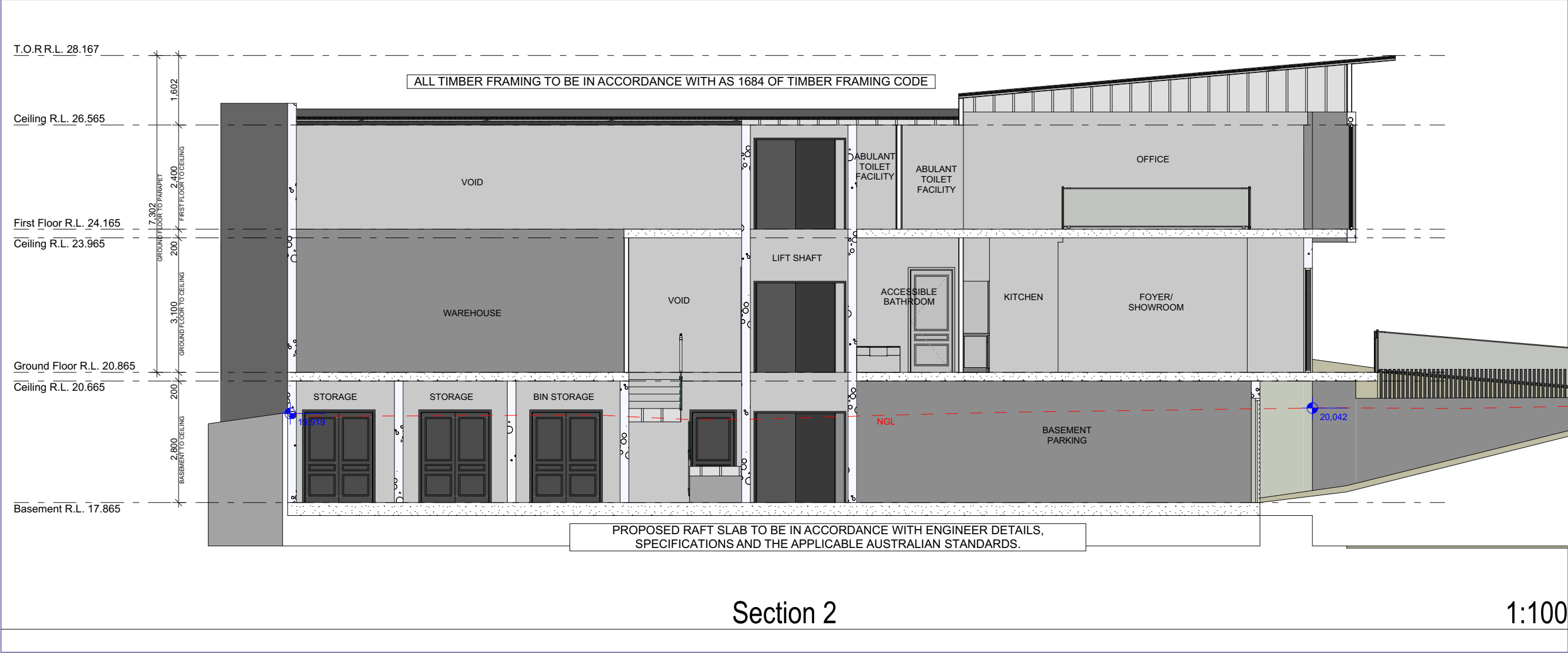
**Client**  
PETER DELLIMANOLIS

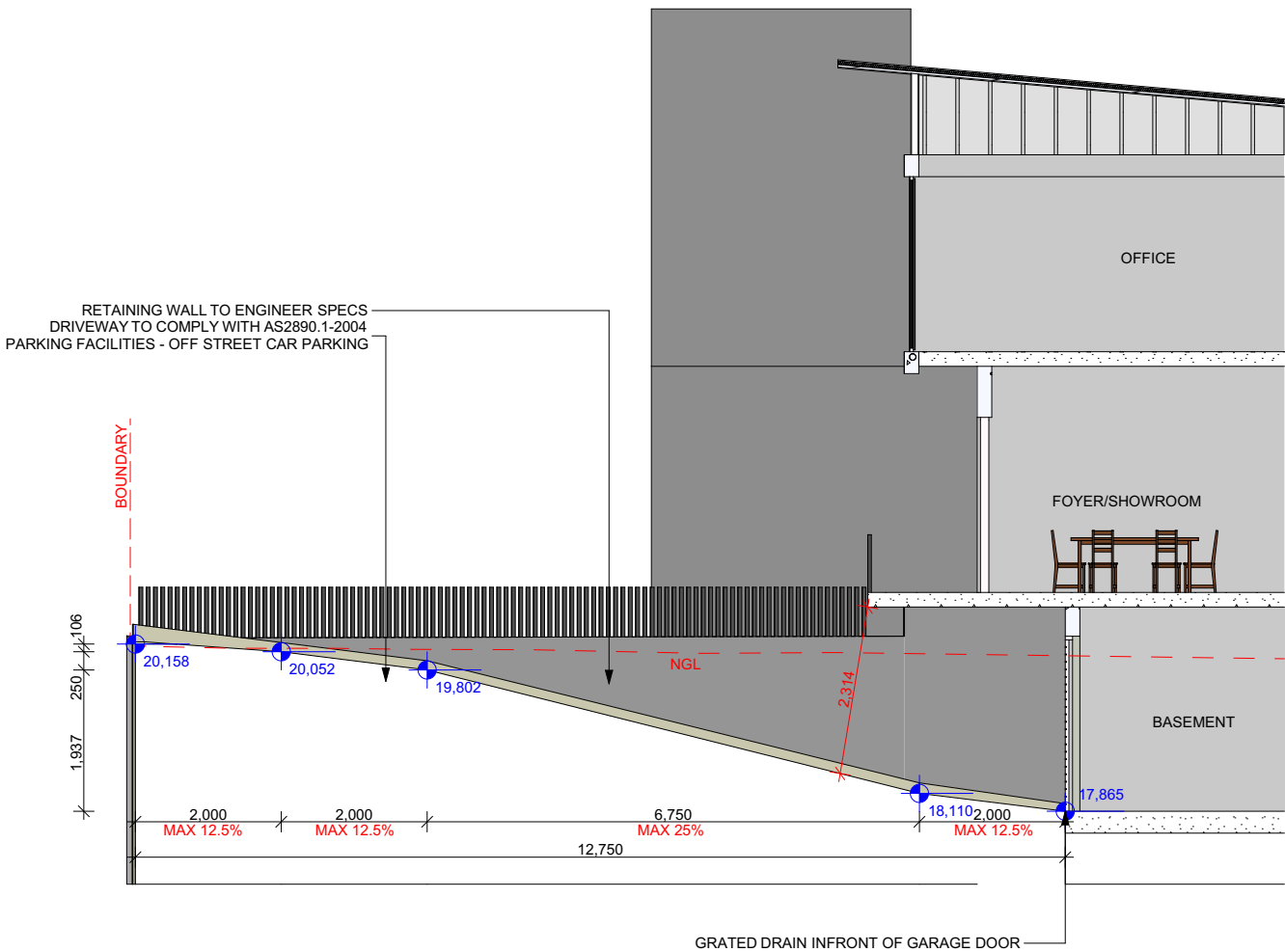
**Project Name**  
WAREHOUSE

**At**  
84 BRYANT ST  
PADSTOW

Drawing Title:  
- Sections/Common Wall Detail  
Section 2, Section 1, Common Wall Detail

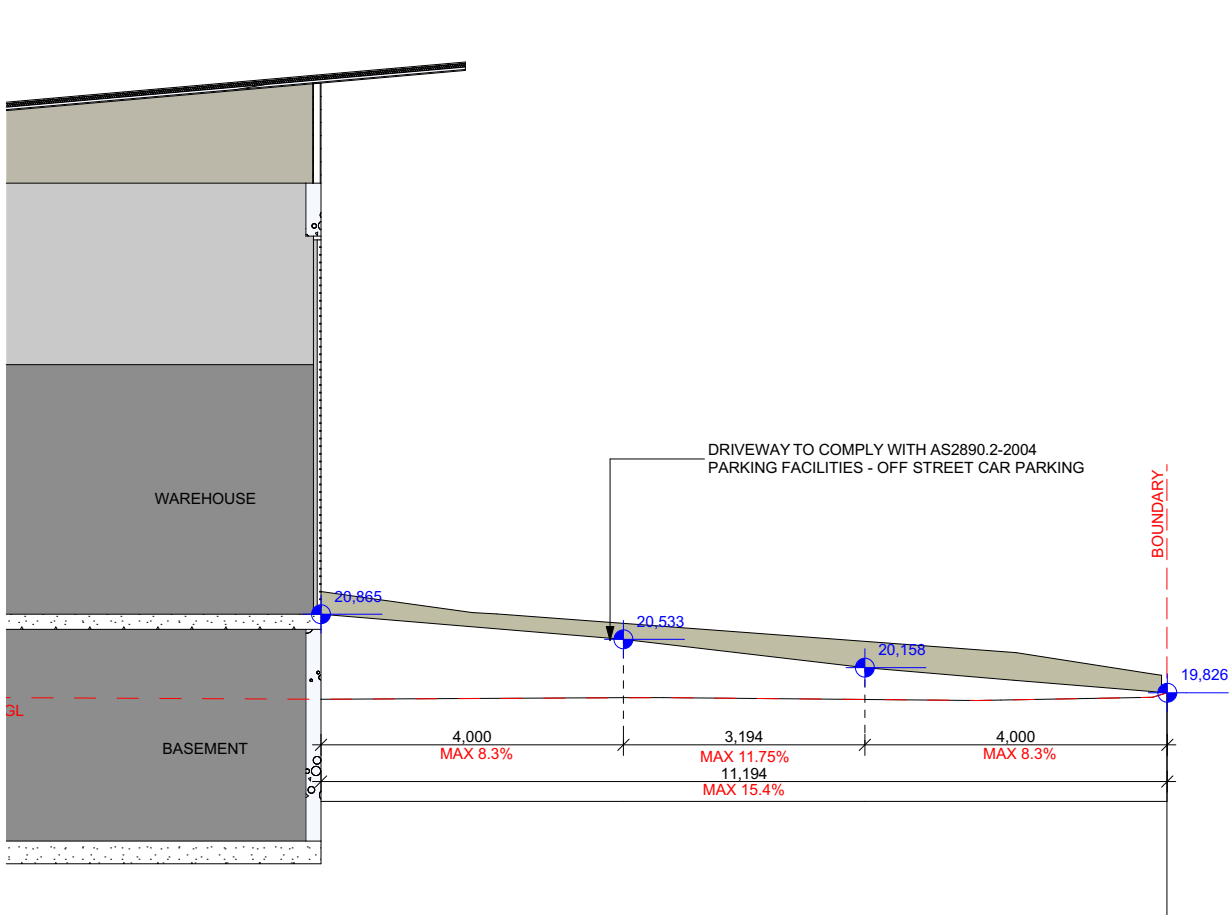
BDAA ACCREDITATION NO:	Scale:	As Noted	A3
6455	Designed By:	M.N	
Project No:	Drawing No.:		
#	16		
Date:	26/03/2025		





Driveway Cross Section

1:100



Driveway Cross Section 2

1:100

LEGEND

S

SINK

⬆

REDUCED LEVEL

S/O

STOVE/OVEN COOKTOP

(SA)

SMOKE ALARM

W

WASHING MACHINE

D

DRYER

F

FRIDGE

DW

DISHWASHER

(DP)

DOWNPIPE

T.O.R

TOP OF ROOF

T.O.P

TOP OF PARAPET

B.I.R

BUILD IN ROBE

W.I.R

WALK IN ROBE

→

WATER FLOW DIRECTION

X°

ROOF PITCH

(FW)

FLOOR WASTE

L/C

LINEN CUPBOARD

P.O.S

PRIVATE OPEN SPACE

LP

LIGHT POLE

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CAMPBELL HILL

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Email: campbellhillgroup@hotmail.com

bdaa

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

Client

PETER DELLIMANOLIS

Project Name

WAREHOUSE

At

84 BRYANT ST

PADSTOW

Drawing Title:

- Driveway Cross Section



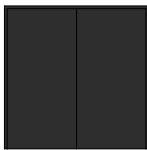



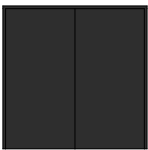
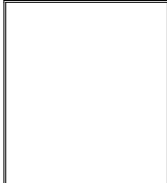

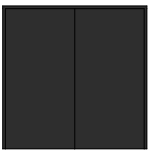
Driveway Cross Section, Driveway Cross Section 2

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	
Project No:	Drawing No.:	
	17	
Date:	26/03/2025	


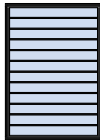



# DOOR SCHEDULE

D00 REPRESENTS DOOR OPENINGS

Door Schedule										
Home Story	Basement				Ground Floor				First Floor	
Door Name	Door 26	Double Door 26	Sliding Folding Mult...	Tilt Garage Door 26	Door 26	Double Door with 2 ...	Sliding Folding Mult...	Tilt Garage Door 26	Door 26	Sliding Folding Mult...
ID	D02	D04	D03	D01	D06	D05	D03	D07	D08	D04
Quantity	1	3	1	1	3	1	1	1	1	1
Height	2,060	2,100	2,100	2,400	2,340	2,400	2,100	5,000	2,340	2,100
Width	920	1,600	2,120	4,000	920	7,429	2,120	4,500	820	2,120
Elevation										

# WINDOW SCHEDULE

Window List			
Home Story	First Floor		
Window Name	Window 26	Window 26	Window 26
ID	W01	W02	W03
Quantity	1	2	1
Height	2,400	2,400	1,200
Width	4,331	1,700	1,200
Window sill height	300	300	1,200
Window head height	2,700	2,700	2,400
Elevation			

## LEGEND

S	SINK
⬆	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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**BDAA**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

Client  
PETER DELLIMANOLIS

Project Name  
WAREHOUSE

At  
84 BRYANT ST  
PADSTOW

Drawing Title:  
- Window & Door Schedule  
Door List, Window List

BDAA ACCREDITATION NO: 6455	Scale: As Noted Designed By: M.N
Project No: #	Drawing No.: 18

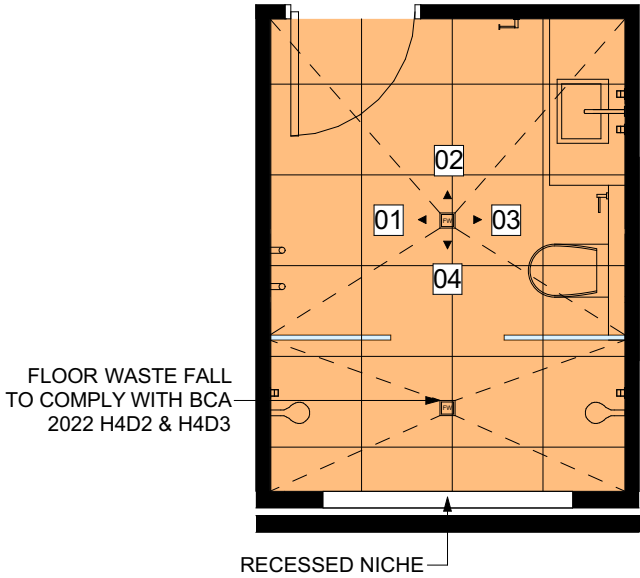
Date: 26/03/2025

Date: 26/03/2025

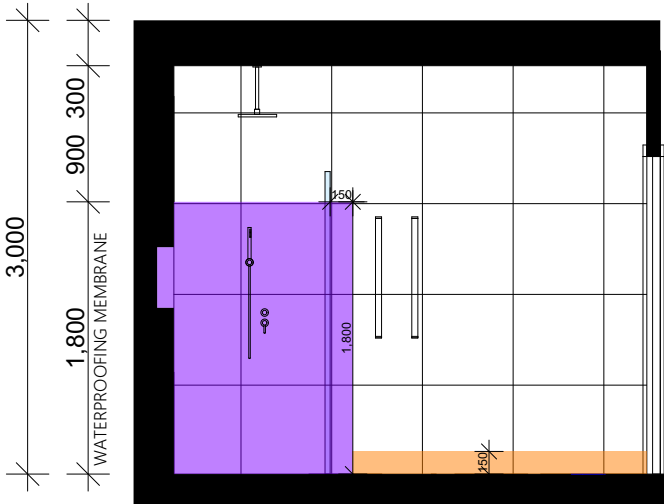
WATERPROOFING LEGEND:

FLOOR MEMBRANE

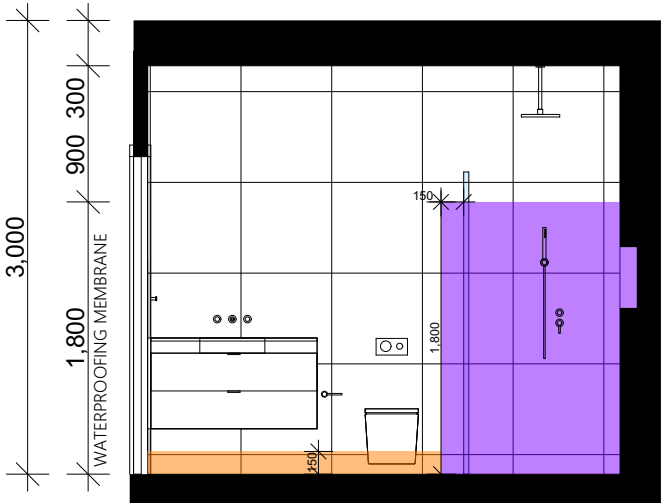
WALL MEMBRANE



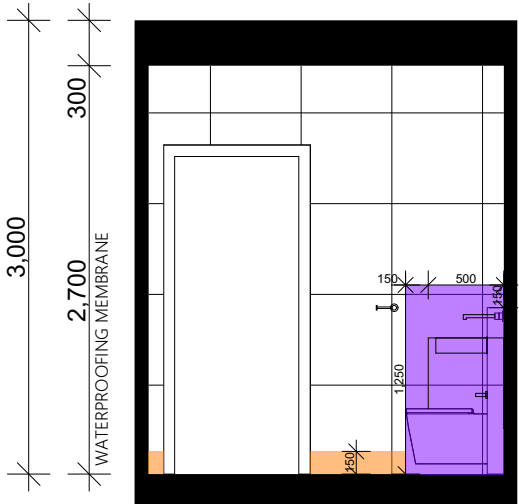
TYPICAL BATH PLAN



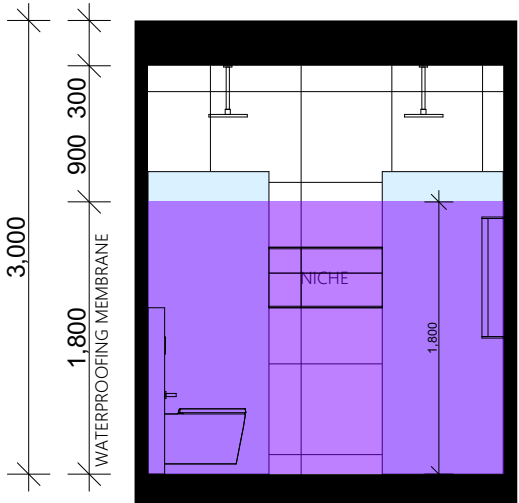
ELEVATION 01



ELEVATION 03



ELEVATION 02



ELEVATION 04

Typical Wet Area Details

LEGEND	
S	SINK
⬆	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
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**BDA**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

<b>Client</b> PETER DELLIMANOLIS	
<b>Project Name</b> WAREHOUSE	
<b>At</b> 84 BRYANT ST PADSTOW	
<b>Drawing Title:</b> - Typical Wet Area Details Typical Wet Area Details	
BDAA ACCREDITATION NO: 6455	Scale: As Noted A3 Designed By: M.N
Project No: #	Drawing No.: 20
Date: 26/03/2025	

1:50



**TOTAL FSR CALCULATION**  
MAX GROUND FLOOR AREA ALLOWED: 381.57 m<sup>2</sup>  
GROUND FLOOR AREA PROPOSED: 343.94 m<sup>2</sup>  
PARKING SPOTS REQUIRED: 6

**TOTAL FSR CALCULATION**  
MAX FSR ALLOWED: 545.10m<sup>2</sup>  
TOTAL FSR PROPOSED: 424.48m<sup>2</sup>

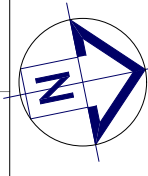
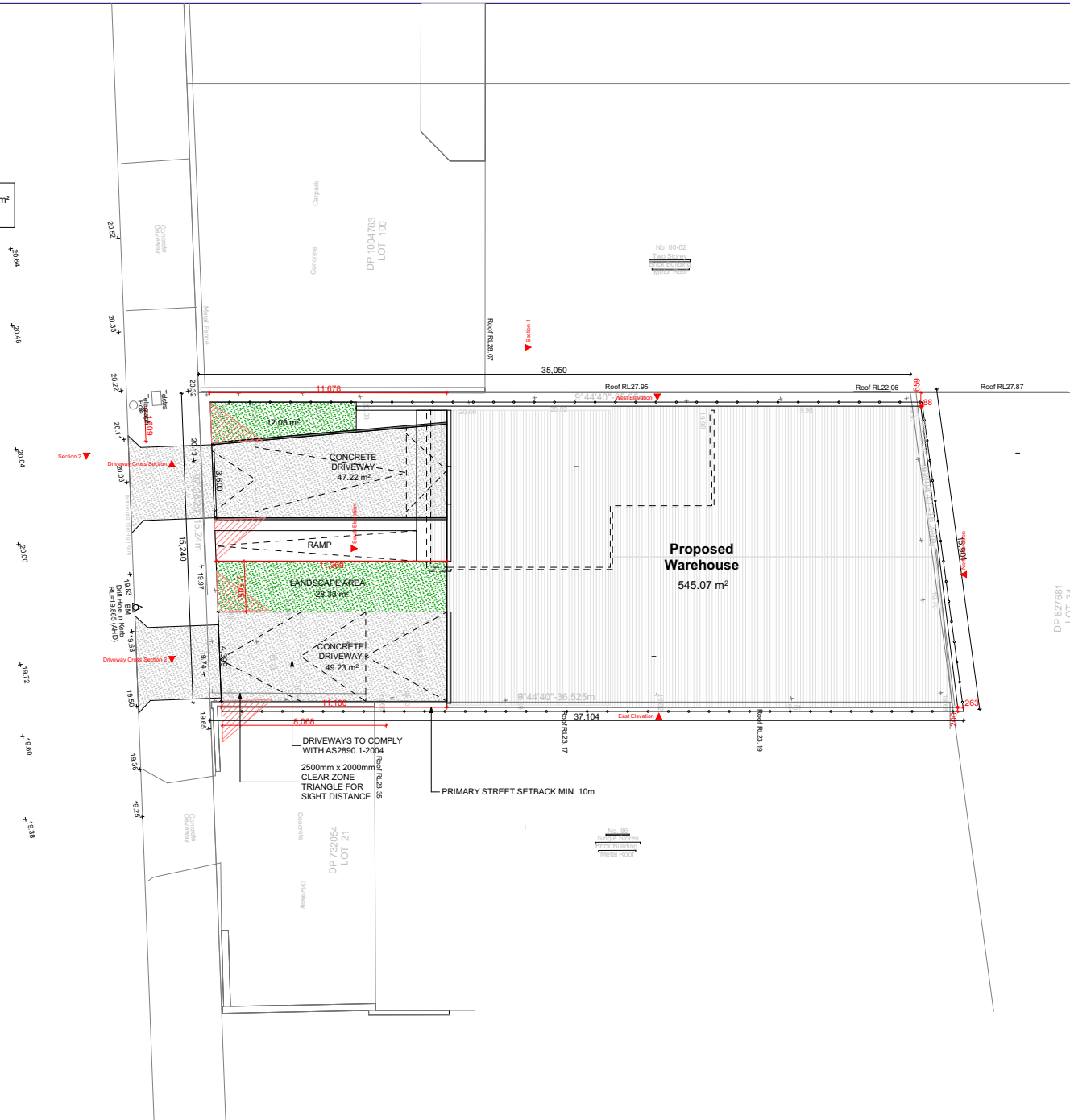
**WAREHOUSE**  
**SITE DETAILS**  
LOT NUMBER: 20  
DP NUMBER: 732054  
SITE AREA (DP): 545.10m<sup>2</sup>  
SITE AREA (CALC): 545.10m<sup>2</sup>

**WAREHOUSE**  
TOTAL SUBDIVIDED AREA: 545.10m<sup>2</sup>  
GROUND FLOOR AREA: 343.94 m<sup>2</sup>  
FIRST FLOOR AREA: 80.54 m<sup>2</sup>  
STAIRCASE VOID: 13.68 m<sup>2</sup>  
BASEMENT: 343.94 m<sup>2</sup>  
PORCH: 11.14 m<sup>2</sup>  
DRIVEWAY: 96.45 m<sup>2</sup>  
TOTAL ROOF AREA: 383.87m<sup>2</sup>

LEGEND:

- CONCRETE AREA  
LANDSCAPE AREA  
RETAINING WALLS

BRYANT STREET



LEGEND	
S	SINK
S/O	REDUCED LEVEL
(SA)	STOVE/OVEN COOKTOP
W	SMOKE ALARM
D	WASHING MACHINE
F	DRYER
DW	FRIDGE
DP	DISHWASHER
DOWN	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X	ROOF PITCH
(F)	FLOOR WASTE
LC	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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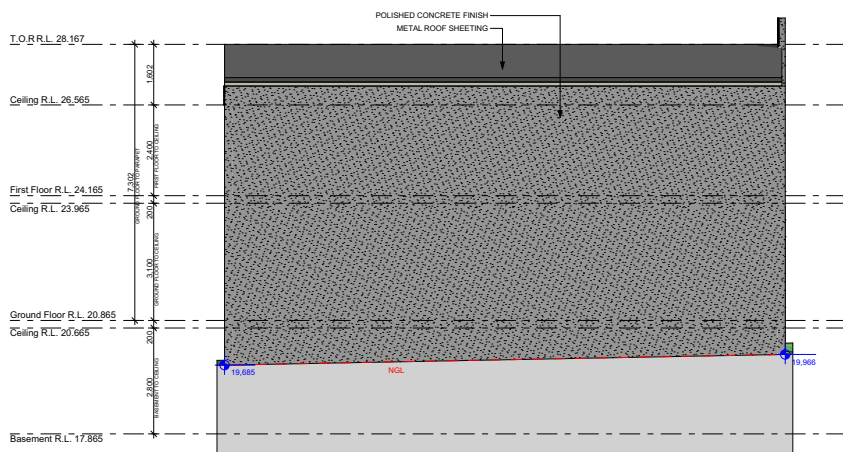
**Project Name**  
WAREHOUSE

**At**  
84 BRYANT ST  
PADSTOW

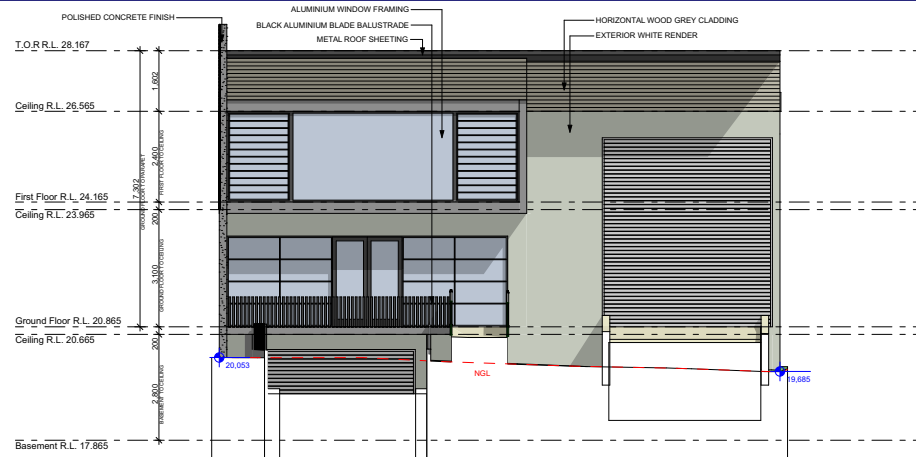
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Project No: #	Designed By: M.N. Drawing No.: 21
Date:	28/03/2025

Site Plan

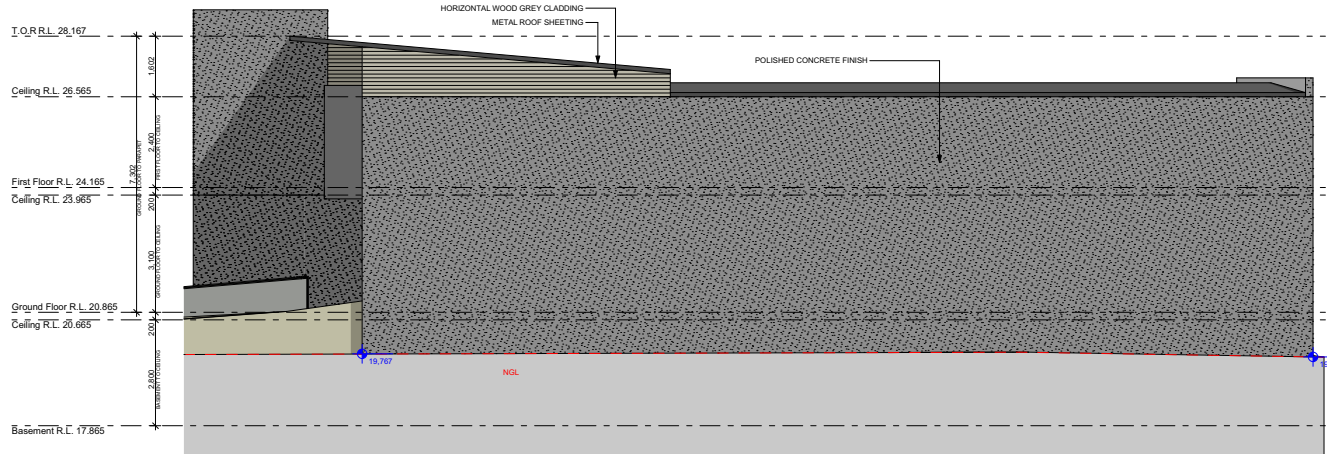
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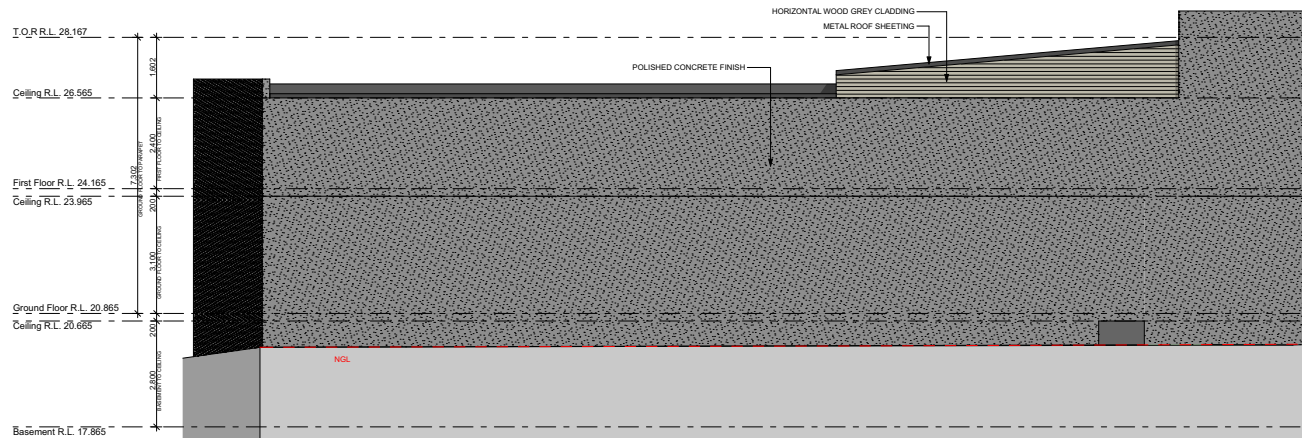
North Elevation



South Elevation



East Elevation



West Elevation

**LEGEND**

- S SINK
- S/O REDUCED LEVEL
- (SA) STOVE/OVEN COOKTOP
- W SMOKE ALARM
- D WASHING MACHINE
- F DRYER
- D FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R. TOP OF ROOF
- T.O.P. TOP OF PARAPET
- B.I.R. BUILD IN ROBE
- W.I.R. WALK IN ROBE
- Water Flow Direction
- Roof Pitch
- FLOOR WASTE
- LC LINEN CUPBOARD
- P.O.S. PRIVATE OPEN SPACE
- LP LIGHT POLE

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ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, INHON DESIGN STANDARDS, THE LOCAL COUNCIL AND AUSTRALIAN STANDARDS.

ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION AND SCHEDULES, CONSULTANTS DOCUMENTATION.

DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONING PURPOSES. FIGURED DIMENSIONS SHALL PREVAIL.

FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.

TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.

ALL GROUND LINES ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE.

ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER.

CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING.

REVISION	NAME	DATE
REVISION A - CONCEPT	M.M	08/11/24
REVISION B - CONCEPT	M.M	16/12/24
REVISION C - CONCEPT	M.M	17/01/25
REVISION D - CONCEPT	M.M	08/02/25
REVISION E - CLIENT CHANGES	M.M	12/02/25
REVISION F - BCA CHANGES	M.M	04/03/25
REVISION G - FINALISE PLANS	K.N	12/03/25
REVISION H - TRAFFIC CHANGES	M.M	21/03/25

**CAMPBELL HILL**  
GROUP PTY LTD.  
Contact: 0433 375 386  
Email: campbellhillgroup@hotmail.com

**BDAA**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**Client**  
PETER DELLIMANOLIS

**Project Name**  
WAREHOUSE

**At**  
84 BRYANT ST  
PADSTOW

Drawing Title:  
- A4 Notification Plan  
North Elevation, East Elevation, South Elevation, West Elevation

BDAA ACCREDITATION NO:	Scale: As Noted	A4
6455	Designed By: M.N	
Project No:	Drawing No:	
#	22	
Date:	28/03/2025	